



Draft Newcastle City Centre Locality specific provisions

Section 6.01
Newcastle DCP 2012

March 2014



Planning &
Infrastructure



**Draft Section 6.01
Newcastle City Centre
Locality specific provisions**

Newcastle Development Control Plan 2012

Planning & Infrastructure
Urban Renewal

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Draft March 2014

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Photo 6.01-1 Potential new development along the edge of Birdwood Park in the West End (Impression: Arup, 2012)



6.01.01 Introduction

A. Newcastle city centre locality specific provisions

Description

This Newcastle Development Control Plan section provides detailed standards and guidance for development in Newcastle's city centre.

This section forms part of the community vision and is consistent with the provisions of the Newcastle Local Environmental Plan 2012 and is to be read in conjunction with the LEP and DCP for the assessment of all development applications.



Figure 6.01-1 Land to which the Newcastle City Centre Development Guide applies (Aerial imagery source: Nearmap, 2014)

Purpose of this Development Control Plan section

This Development Control Plan section has been prepared as an implementation action of the Newcastle Urban Renewal Strategy. It integrates place-based planning for Newcastle East, Honeysuckle and Newcastle West. The Development Control Plan section contains a comprehensive set of planning and design guidelines. The design guidelines are derived from the characteristic features of distinct areas within the city centre.

Land and development covered by this guide

This guide applies to the Newcastle City Centre as outlined in Figure 6.01-1 below.

Aims of this section	
1.	To implement the Newcastle Urban Renewal Strategy
2.	To integrate planning for Newcastle East, Honeysuckle and Newcastle West.
3.	To provide a comprehensive set of planning and design guidelines based on the characteristic of distinct areas within the city centre.



The vision

Newcastle City Centre will continue to grow and evolve to strengthen its position as the Hunter Region’s capital. The city centre will reflect the Newcastle Community Strategic Plan 2030 vision to be a ‘Smart, Liveable and Sustainable City’, and the initiatives of the Newcastle Urban Renewal Strategy. Newcastle city centre will be an attractive city that is built around people and reflects our sense of identity.

How to use this guide

This guide has been developed to consolidate and replace the three existing Newcastle City Centre Development Control Plan sections. This guide has performance criteria that explain the planning outcomes to be achieved. Accompanying the performance criteria are acceptable solutions that illustrate the preferred way of complying with the corresponding performance criterion. There may be other ways of complying with performance criteria and it is up to the applicant to demonstrate how an alternative solution achieves this.

B. Planning Context

Savings provisions

Any development application lodged but not determined prior to this guide coming into effect will be determined taking into consideration the provisions of this document.

Relationship with other strategic planning documents

The provisions of the following listed environmental planning instruments, or any subsequent instruments, also relate to development applications to which this section applies:

Newcastle Local Environmental Plan 2012

State Environmental Planning Policy No 65 —
Design Quality of Residential Flat Development

State Environmental Planning Policy (Building
Sustainability Index: BASIX) 2004

In the event of any inconsistency between this guide and the above listed environmental planning instruments, the environmental planning instrument will prevail to the extent of the inconsistency.

Note 1: Additional environmental planning instruments may also apply in addition to those listed above.

Note 2: Section 74E (3) of the Environmental Planning and Assessment Act 1979 enables an environmental planning instrument to exclude or modify the application of this Development Control Plan in whole or part.

Relationship with other development control planning documents

Relevant provisions of the Newcastle Development Control Plan 2012 and the associated Technical Manuals not addressed in this guide, will also apply to development proposals within the Newcastle City Centre.

Note: This Development Control Plan part prevails over the rest of the Development Control Plan and Council's Technical Manuals, where there is any inconsistency.

Development Application requirements

3D modelling: any application to carry out development that exceeds two storeys in height, or development that is in a "Key Precinct" is to be accompanied by a 3D file of the proposed development within in the context of the Newcastle CBD 3D model. The format should be compatible to that used by the City of Newcastle council.

The 3D Model should be used to develop the following information:

- context 'before' and 'after' streetscape drawings/images and/or photomontages;
- shadow diagrams; and
- assessment of impact on view corridors.

Urban Design Consultative Group

Council has established an Urban Design Consultative Group to provide independent urban design and architectural advice on major development proposals within the Newcastle City Centre. The Urban Design Consultative Group is recognised by the Minister for Planning as a SEPP 65 Design Review Panel. In addition to providing advice on SEPP 65 matters, the Group may consider any development matters in accordance with the approved Charter for the Urban Design Consultative Group.



Photo 6.01-2 Potential public domain improvements to Crown Street, with active uses such as outdoor dining (Impression: Arup, 2012)





6.01.02 Character areas

- A. Character Areas overview
- B. West End
- C. Honeysuckle
- D. Civic
- E. Parry Street
- F. East End
- G. Newcastle Beach
- H. Newcastle East Heritage Conservation Area
- I. Foreshore

A. Character Areas overview

Within the city centre there are a number of areas with distinct characteristics. These 'character areas' each has its own unique setting that provide opportunities for the ongoing renewal and revitalisation of the city centre. They are divided into areas based on their attributes, including topography, landscape, heritage, streetscape, land uses and built form. The character areas are described in the following character statements in this part and are identified in Figure 6.01-2.

In addition to the character areas, three 'key precincts' have been identified. The key precincts are focused around major public spaces in the city centre and have special provisions outlined in Part 04 of this DCP section that need to be considered.

This part contains the character statements and supporting principles for development within all character areas of Newcastle's city centre. The statements are place-specific and build on the existing urban structure, character of the neighbourhoods and important elements that will contribute to the future quality of the area. The statements are supported by a number of principles that help reinforce and enhance the character of each locality.

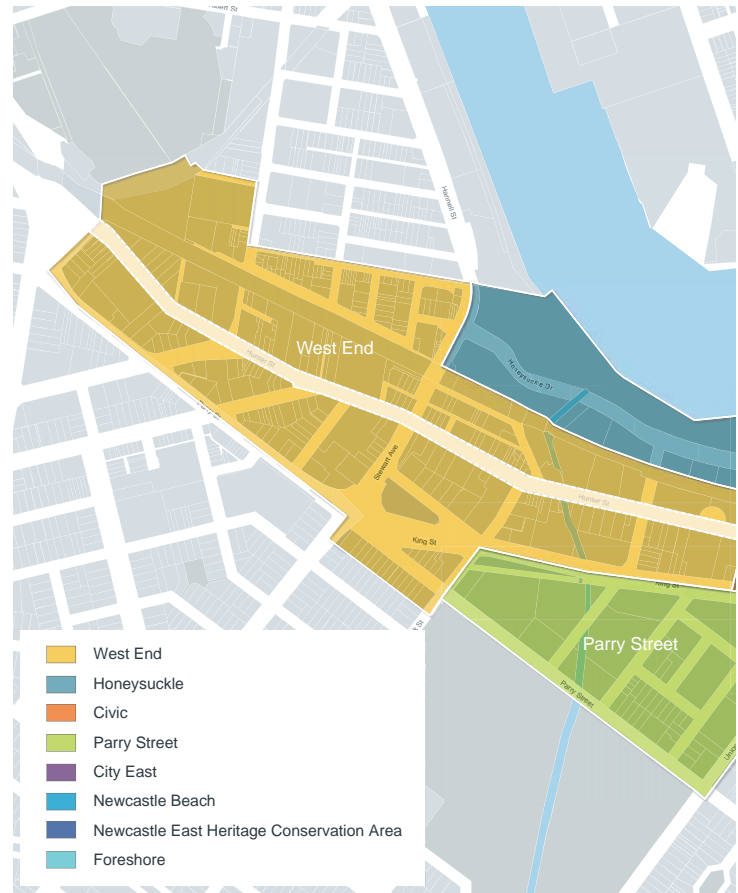
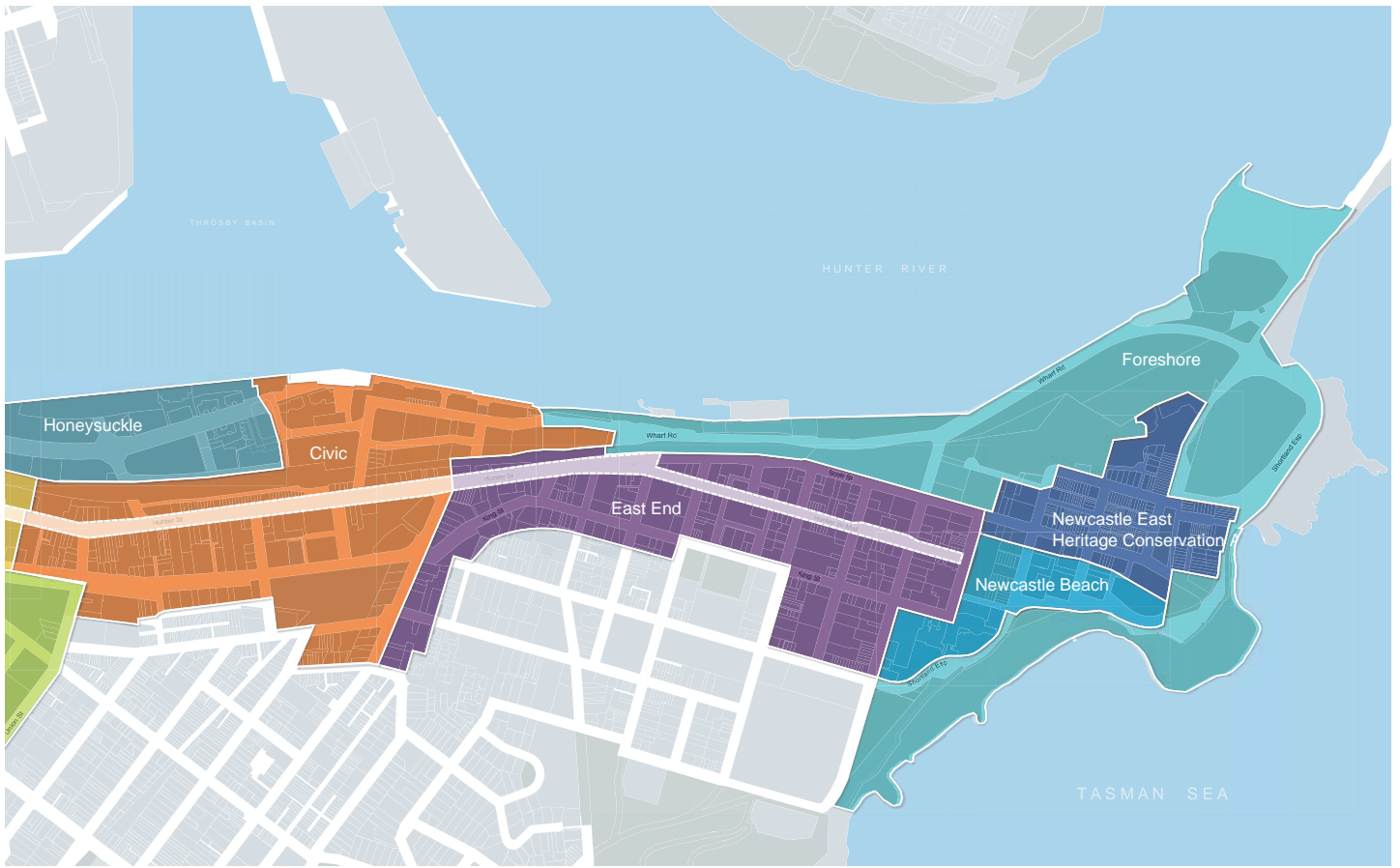


Figure 6.01-2 Character Areas

Overall Principles

- a) The unique character of each Character Area is enhanced.
- b) New development has regard to the fabric and character of each area in scale, proportion, street alignment, materials and finishes and reinforce distinctive attributes and qualities of built form.
- c) Heritage items and their setting are protected.
- d) Public spaces, including streets, lanes and parks maintain high levels of solar access.
- e) Active frontages address the public domain.
- f) Existing significant views and vistas to buildings and places of historic and aesthetic importance are protected.



B. West End



Figure 6.01-3 West End Character Area

This area is the western gateway to Newcastle's city centre and is an area of unrealised potential. It currently has showroom and bulky goods facilities, retail, car dealerships and self storage. The predominance of larger consolidated land holdings and fewer environmental and heritage constraints make this precinct ideally suited to become the future CBD of Newcastle.

This precinct has fewer public domain assets. Improvement of public open space is needed to ensure the precinct is well-served as it evolves into a commercial precinct. Public domain opportunities include improvements to Birdwood Park, the Cottage Creek corridor and connections to the river foreshore. Public domain improvements should be in accordance with any adopted public domain plan of Council.



Photo 6.01-3 Wood Street, view towards the Stores on Hunter Street.

Principles - Newcastle West

- New public spaces are created to meet the demands of the future CBD and existing public open spaces are improved, such as Birdwood Park and Cottage Creek. Opportunities for new publicly accessible spaces are identified.
- Birdwood Park is recognised as an important element in the public domain network and as the western 'gateway' to the city centre.
- New development fronting Birdwood Park addresses the park edge and promotes a sense of enclosure by being built to the street alignment. Any new development ensures adequate mid-winter lunch time sun access to Birdwood Park.
- Development along the rail corridor, Cottage Creek, lanes or through-site links provide a building address to encourage activity, pedestrian and cycleway movement, and improve safety.
- Building entries are inviting with activate frontages that allow visual permeability from the street to within the building.
- Distinctive early industrial, warehouse and retail buildings that contribute to the character of the area are retained and re-purposed.
- Heritage items and their setting are protected.

C. Honeysuckle

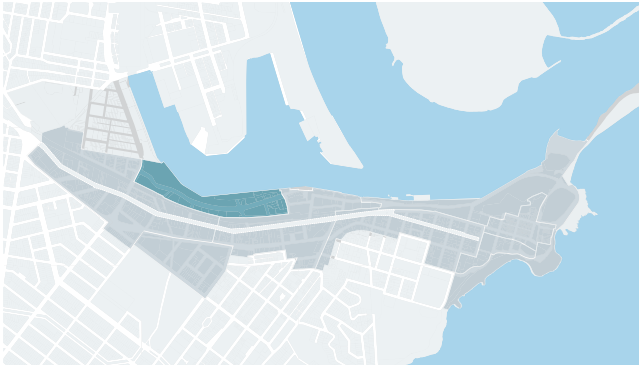


Figure 6.01-4 Honeysuckle Character Area

Honeysuckle is currently the premier locale for A-grade large floor plate commercial office development. A range of complementary uses include higher density residential development, restaurants and hotels which take advantage of Honeysuckle's prime position on the Hunter River foreshore.

Honeysuckle has opportunities for significant public domain. The extension of the foreshore park westwards will form a continuous publicly accessible foreshore that extends from Maryville to Merewether around the city centre peninsula.



Photo 6.01-4 Honeysuckle Drive, A-grade commercial office buildings

Principles - Honeysuckle

- a) Development between the rail corridor and Honeysuckle Drive provides a building address to both frontages.
- b) Development along the waterfront, Cottage Creek, lanes or through-site links provide a building address to encourage activity, pedestrian and cycleway movement, and improve safety.
- c) Heritage items and their setting are protected.



Photo 6.01-5 Honeysuckle waterfront, mixed-use development

D. Civic



Figure 6.01-5 Civic Character Area

Civic is the administrative, cultural and educational centre of Newcastle. It includes facilities that reflect Newcastle's importance as a major regional city such as Newcastle Museum, Newcastle Regional Art Gallery and City Hall. It is the location of major public assets such as Wheeler Place and the Civic Theatre.

The relocation of the courts to Civic and the introduction of more educational facilities associated with the University of Newcastle will have a major effect on the future character and activity within this area. Smaller commercial spaces will redevelop as support services for the courts and the university, and an increased student population will create flow-on demand for housing, retail and other services.



Photo 6.01-6 Newcastle City Hall on King Street.

Principles - Civic

- The pedestrian connection linking a number of the city's cultural buildings and spaces is reinforced, between Newcastle Regional Art Gallery, through Civic Park and Wheeler Place, past the Newcastle Museum to the foreshore of the Hunter River.
- Visual and physical connections between Civic and the Hunter River foreshore are opened.
- Development between the rail corridor and Hunter Street provides a building address to both frontages.
- Wheeler Place is enhanced and recognised as the primary public square in the heart of Civic.
- Development along publicly accessible spaces, lanes or through-site links provide a building address to encourage activity, pedestrian and cycleway movement, and improve safety.
- Mid-winter lunch time sun access is protected to the footpath on the south side of Hunter Street and to Wheeler Place, Civic Park and Christie Place.
- Distinctive early industrial, warehouse and retail buildings that contribute to the character of the area are retained and re-purposed.



Photo 6.01-7 Christie Place, between University House and City Hall

E. Parry Street



Figure 6.01-6 Parry Street Character Area

The area to the north of National Park and south of King Street is currently a mixture of commercial development with some residential and retail development such as the shopping centre, Markettown. In the future, this precinct will be characterised by more high density residential development taking advantage of the good amenity offered by proximity to the city centre and National Park and available services such as retail, entertainment and employment opportunities.

Principles - Parry Street

- a) Public domain spaces are improved to support the evolving character of the area into a high-density residential and mixed use precinct.
- b) Distinctive early industrial and warehouse buildings that contribute to the character of the area are retained and re-purposed.
- c) Development along Cottage Creek provides a building address to encourage activity, pedestrian and cycleway movement, and improve safety.



Photo 6.01-8 Hall Street, an area in transition



Photo 6.01-9 Parry Street, new residential development

F. East End

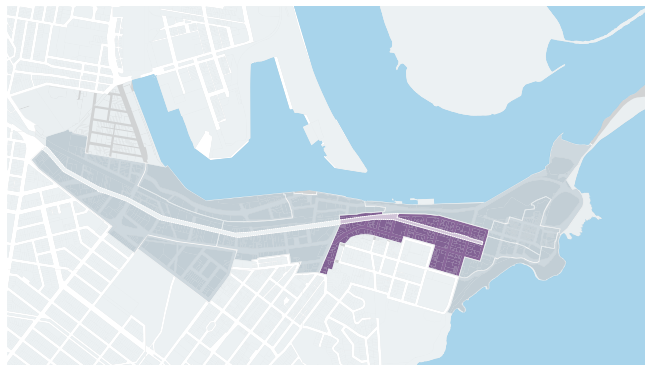


Figure 6.01-7 East End Character Area

East End centres on Hunter Street Mall and the terminus of Hunter Street at Pacific Park. The precinct is characterised by hilly topography and a mix of uses focusing on the retail spine of Hunter Street Mall. The subdivision is more finely grained than other areas of the city centre. A mix of heritage listed and historic buildings give this part of Newcastle a unique character and offer interesting and eclectic streetscapes.



Photo 6.01-10 Hunter Street, view East

Principles - East End

- a) Hunter Street Mall continues to be the main retail spine of the area, supported by a range of complimentary uses, including residential, commercial, entertainment and dining.
- b) Hunter Street Mall is recognised and enhanced as a major pedestrian space and an informal meeting place.
- c) The historic fine grain character is maintained and enhanced.
- d) Significant views to and from Christ Church Cathedral are protected, including views from Market Street and Morgan Street. Views to Hunter River are protected and framed along Market Street, Watt Street and Newcommen Street.
- e) Vistas that terminate at significant heritage buildings are protected, such as Fort Scratchley.
- f) Distinctive early industrial, warehouse and retail buildings that contribute to the character of the area are retained and re-purposed, including prominent corner buildings.
- g) Existing laneways and pedestrian connections are enhanced.
- h) Heritage items and their setting are protected. New buildings respect the setting of heritage buildings.
- i) In-fill buildings, additions and alterations to respond to the height, massing and predominant horizontal and vertical proportions of existing buildings.

G. Newcastle Beach



Figure 6.01-8 Newcastle Beach Character Area

With the redevelopment of Newcastle Hospital, Newcastle Beach has emerged as the location of a cluster of high rise tourist and visitor accommodation and high quality residential apartments overlooking the beach.

Newer developments have been accompanied by high quality public domain improvements and good pedestrian through-site connections to the beach front. The area adjoins Newcastle East Heritage Conservation Area, so development on this edge must ensure sensitive transitions responding to the lower scale development in Newcastle East Heritage Conservation Area.



Photo 6.01-11 Adaptive reuse of a heritage building

Principles - Newcastle Beach

- a) The public domain and amenity is enhanced to support the high-density residential and hotel uses.
- b) Pedestrian access is improved to Newcastle Beach.
- c) New development addresses the street to provide a good interface with the public domain.
- d) Development adjoining Newcastle East Heritage Conservation Area creates a transition in scale by aligning the scale, proportion, form and finishes of the associated buildings.
- e) The high environmental quality of the area is maintained.



Photo 6.01-12 Newcastle Beach

H. Newcastle East Heritage Conservation Area



Figure 6.01-9 Newcastle East Heritage Conservation Area Character Area

Newcastle East Heritage Conservation Area is characterised by an intact heritage streetscape which is recognised by its inclusion as a Heritage Conservation Area in Schedule 5 of Newcastle LEP 2012, and by the number of state significant heritage items. It is a highly significant cultural landscape that provides a record of the early development of Newcastle.

The area is primarily residential with terrace housing dating from the late nineteenth century. Small corner shops and other ancillary retail or commercial uses are present. Terrace houses are built to the street boundary, with many featuring first floor verandas that overhang the footpath.

The fringes of the area feature heritage listed warehouses that have been converted for residential and commercial uses, and notable buildings including Fort Scratchley Historic Site, Boatman's Row, the Cohen Bondstore and Coutt's Sailors Home. The north edge of Newcastle East Heritage Conservation Area is bounded by the Coal River Precinct, a place of outstanding heritage significance listed on the NSW State Heritage Register.

Development in this area is subject to the provisions of the Newcastle DCP 2012 heritage provisions and the following principles.

Principles - Newcastle East Heritage Conservation Area

- The heritage significance of Newcastle East Heritage Conservation Area is retained and conserved.
- Development responds to and complements heritage items and contributory buildings within heritage conservation areas, including streetscapes and lanes.
- New development respects the scale, character and significance of existing buildings.
- Existing views and vistas are maintained into and out of the area to the water and the foreshore parkland.
- The continuity of Newcastle East's heritage conservation is retained and the diverse social mix of the area is maintained.



Photo 6.01-13 Newcastle East terraces



Photo 6.01-14 Prominent corner building, Newcastle East

I. Foreshore

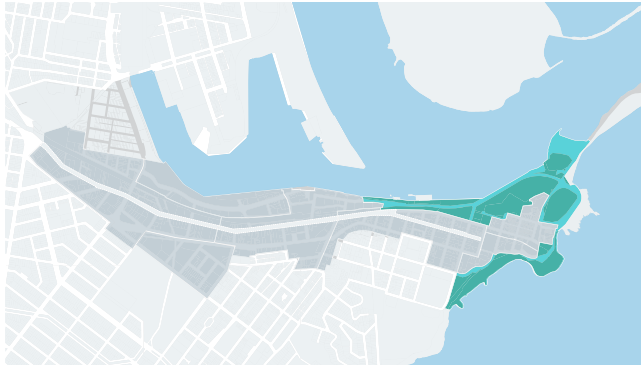


Figure 6.01-10 Foreshore Character Area

The extensive foreshore is the primary open space asset of Newcastle's city centre. It showcases the city's unique natural setting, between the Hunter River and the Pacific Ocean.

The foreshore provides public access linking the river and ocean waterfronts and is also the location of many significant heritage places such as Fort Scratchley, Customs House, the Ocean Baths and Nobbys Point lighthouse. Key public facilities can also be found in this precinct such as Nobbys Beach, Newcastle Beach, Queens Wharf, Nobbys Beach Surf Pavilion, and the foreshore cycleway and promenade. Development must complement the leisure, recreation and heritage uses of the Foreshore area.

Principles - Foreshore

- a) The area is enhanced and continues to be the city's major recreational open space for Newcastle's workers, residents and visitors.
- b) New development respects the scale, character and significance of existing buildings, especially heritage items.
- c) New development promotes and facilitates the continuity of public access to the whole foreshore.
- d) Heritage items and their setting are protected, including the Aboriginal cultural heritage and non-Aboriginal archaeology.



Photo 6.01-16 Ocean Baths



Photo 6.01-15 Hunter River waterfront along Foreshore Park





6.01.03 General controls

Building form

- A1. Street wall heights
- A2. Building setbacks
- A3. Building separation
- A4. Building depth and bulk
- A5. Building exteriors
- A6. Heritage buildings
- A7. Awnings
- A8. Design of parking structures

Public domain

- B1. Access network
- B2. Views and vistas
- B3. Active street frontages
- B5. Addressing the street
- B6. Public artwork
- B7. Sun access to public spaces

A1. Street wall heights

Street wall heights refer to the height of the building that addresses the public street from the ground level up to the first building setback (if any). They are an important element to ensure a consistent building scale in streets that have a mix of uses, heritage items and infill development.

Street wall heights can provide a sense of enclosure to the street and contribute to the city's character through street alignment with appropriate street-width to building height ratios. They can also have a direct impact on sunlight access to the public domain.



Photo 6.01-17 Consistent street wall heights help define the street



Figure 6.01-11 Street wall heights plan

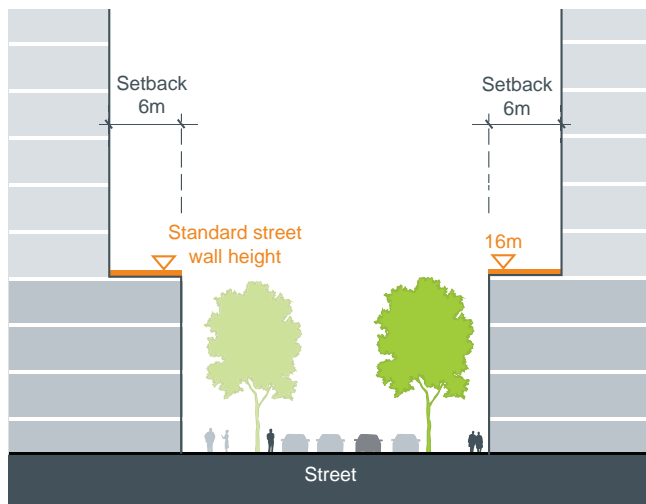


Figure 6.01-12 Section showing the typical 16m street wall height and typical 6m upper level setback



Performance criteria

A1.01 Street wall heights of new buildings define and enclose the street, are appropriately scaled and respond to adjacent development.

Acceptable solutions

- New buildings have a street wall height of 16m unless indicated otherwise in Figure 6.01-11.
- Any development above the street wall height is set back a minimum of 6m, as shown in Figure 6.01-12.
- Corner sites may be emphasised by design elements that incorporate some additional height above the nominated street height.



Photo 6.01-18 Corners can be emphasized through change in architectural expression, material selection and design elements

Alternative solutions

- The street wall height of new buildings may vary if the desired future character is to maintain the existing street wall height of neighbouring buildings, such as heritage streetscapes.
- Deeper setbacks above the street wall height may be needed for heritage buildings or conservation areas to maintain the scale of the streetscape and the setting of heritage items.

A2. Building setbacks

A building setback is the distance between the building and the street boundary, a neighbouring site, waterfront, or any other place needing separation. Building setbacks can enhance development and its relationship with the adjoining sites and the public domain. Particularly in terms of access to sunlight, outlook, view sharing, ventilation, wind mitigation and privacy.

In a city centre it is desirable to locate the frontage of lower levels (the podium) on the street boundary to give strong definition to the street and create setbacks in the upper building elements.



Photo 6.01-19 Front building line is located on the boundary to define the street.

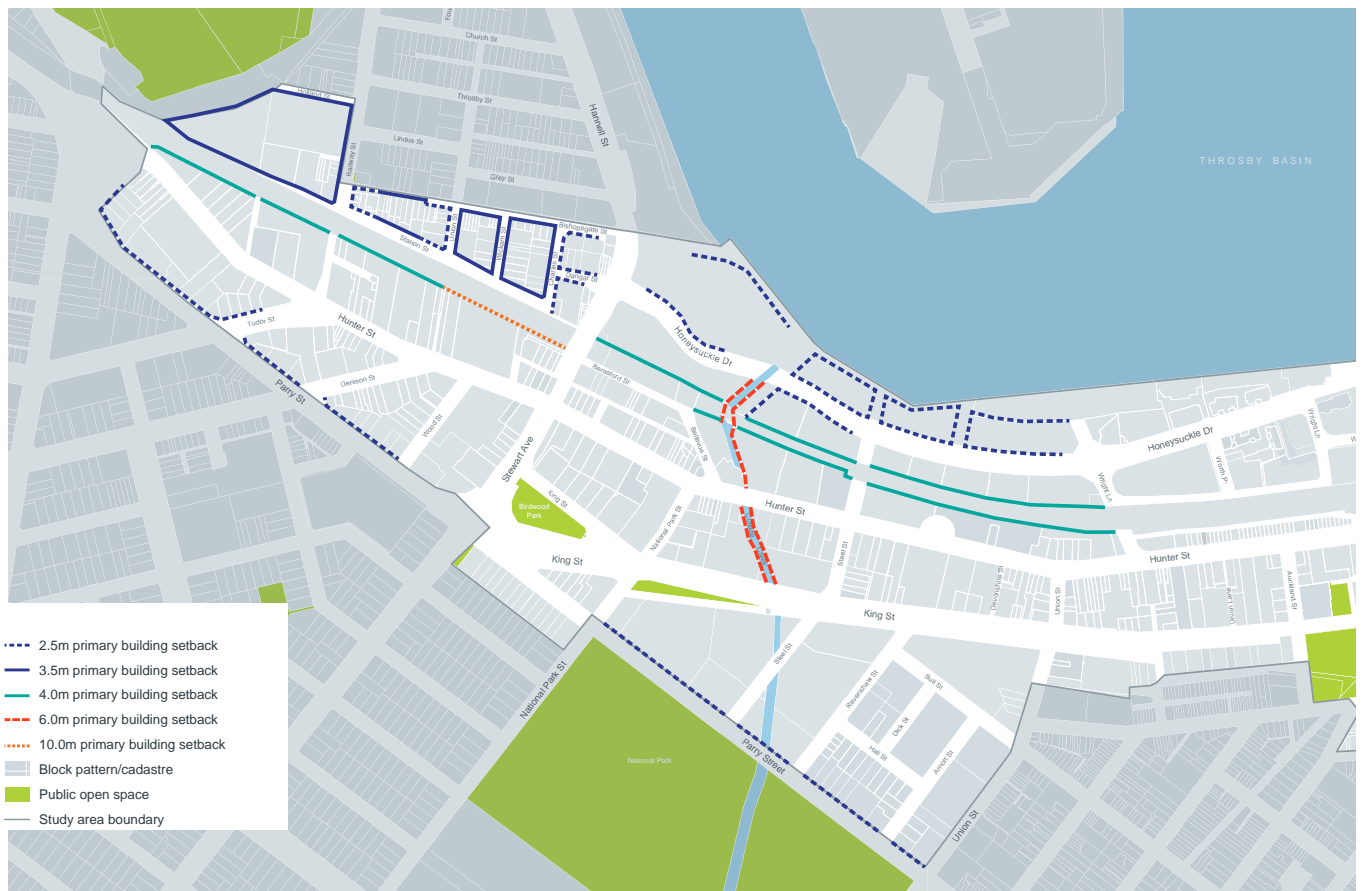


Table 6.01-1 Minimum side and rear setbacks for Commercial buildings

Minimum setback for side and rear boundaries		
Part of building	Side boundary*	Rear boundary*
Below street wall height	nil	nil
Between street wall height and 45m	6m	6m
Above 45m	12m	12m

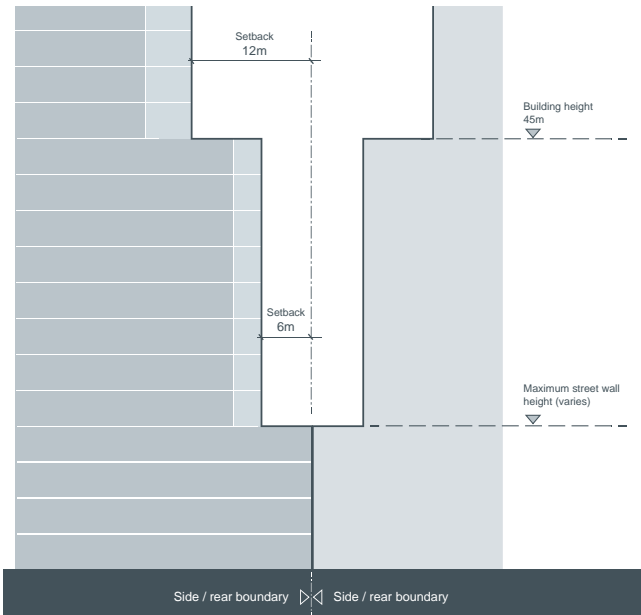


Figure 6.01-14 Section illustrating minimum side and rear setbacks for commercial buildings

* Setback requirements may be higher for residential and mixed-use developments; to satisfy SEPP 65 guidance.

Performance criteria

A2.01 Building setbacks define and address the street and public domain spaces, and respond to adjacent buildings

Acceptable solutions

- Front setbacks are nil (zero) unless shown otherwise in Figure 6.01-13 and Table 6.01-1.
- Where it is not possible to meet the setbacks in Figure 6.01-13 and Table 6.01-1 new development aligns with the adjoining front setbacks.
- When a setback is used, footpaths, steps, ramps and the like may be provided within it.
- Minor projections beyond the setback are possible for Juliette balconies, sun shading devices, and awnings.
- Projections into the setbacks are complementary to the style and character of adjoining buildings.

Performance criteria

A2.02 Side and rear setbacks enhance amenity and allow for ventilation, daylight access, view sharing and privacy for adjoining buildings.

Acceptable solutions

- Development may be built to the side and rear boundary (a nil setback) below the street wall height.
- Commercial development above street wall height, is consistent with the side and rear setbacks outlined in Table 6.01-2 and Figure 6.01-14.

Alternative solutions

- Where there is no adjoining development to respond to, half the separation distances to boundary recommended in the Residential Flat Design Code may be acceptable.
- Where there are no openings within the wall, the side setbacks are consistent with Table 6.01-1 and Figure 6.01-14.

A3. Building separation

Building separation is the distance between two or more buildings on the same site. Building separation ensures ventilation, daylight access, view sharing and increased privacy between neighbouring buildings.

In residential buildings and mixed-use buildings, separation between windows and balconies from other buildings is particularly important for privacy, acoustic amenity, view sharing and sun access.

Building separation can also enhance the built form by visually separating building elements that can result in more usable public domain spaces in terms of mitigating wind impact and ensuring daylight access. Building separation provided at lower levels, between buildings on the same site, can visually break long building frontages and provide opportunities for mid-block through-site links that connect to other streets or open space.

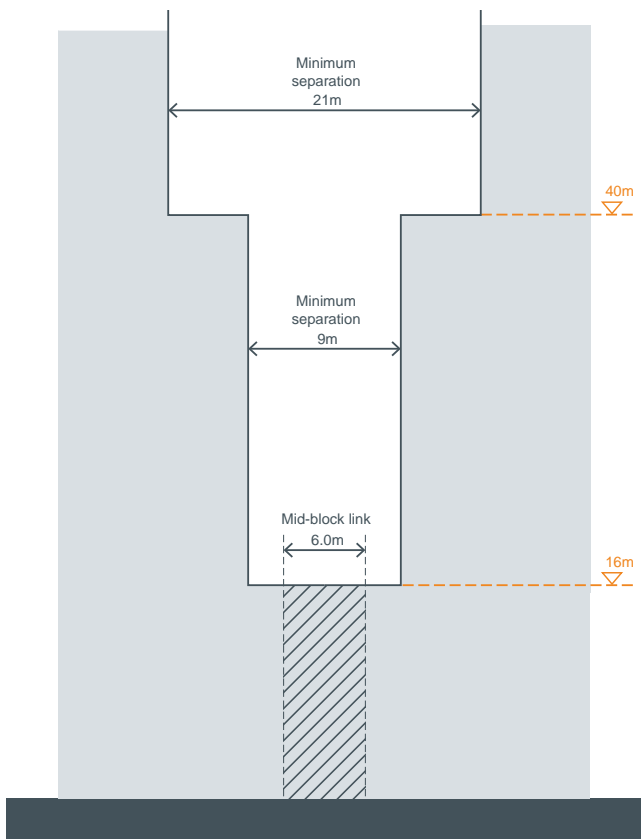


Figure 6.01-15 Section showing minimum separation distances between buildings within the same site and a minimum 6m separation where a through-site link is required.

Performance criteria

A3.01 Sites that accommodate more than one building achieve adequate daylight, ventilation, outlook, view sharing and privacy for each building.

Acceptable solutions

- a) Buildings achieve the minimum building separation for commercial buildings within the same site, as shown in Table 6.01-4 and Figure 6.01-15.
- b) Building separation distances may be longer for residential and mixed-use developments to satisfy SEPP65 guidance.

Table 6.01-4 Minimum building separation

Up to 16m	Up to 45m	Above 45m
Nil or 6m for link	9m	21m



Photo 6.01-20 Building separation in this residential development allows for ventilation, daylight access, view sharing



Photo 6.01-21 Solid walls with non-habitable room windows are used for end elevations to manage privacy impacts

A4. Building depth and bulk

The size of building floor plates has a direct impact on building bulk and urban form. Setting a maximum size of floor plates is also important to allow for ventilation, daylight access, view sharing and privacy in neighbouring development and the public domain.

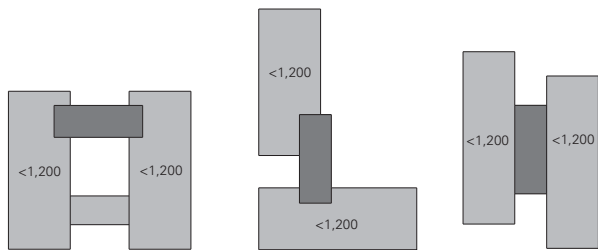


Figure 6.01-16 Commercial buildings with large floor plates expressed as separate building elements of not more than 1,200 square metres



Photo 6.01-22 Buildings with large floor plates are expressed as separate building elements

Performance criteria

A4.01 Building depth and floor plate sizes relate to the desired urban form and skyline of the city centre.

Acceptable solutions

- a) Buildings achieve the maximum building depth and floor plate sizes as outlined in Table 6.01-5.

Table 6.01-5 Maximum building depth and floor plate size

Building typology	Floor plates affected	Maximum GFA per floor	Maximum Building Depth*
Campus-style commercial building	All floor plates; Honeysuckle	2,500m ²	25m
Commercial tower	Above street wall height	1,200m ²	25m
Residential tower	Above street wall height	900m ²	18m

* excluding balconies

- b) Buildings with large floor plates are expressed as separate building elements, as shown in Figure 6.01-16.
- c) Buildings above street wall height have a maximum building length of 50m.
- d) Floor plates are flexible and allow adaption for multiple configurations or uses

Performance criteria

A4.02 Buildings achieve good internal amenity with minimal artificial heating, cooling and lighting.

Acceptable solutions

- a) Workspaces in office buildings achieve adequate natural light. Design solutions include windows, atria, courtyards or light wells and by locating workspaces within 10-12m from a window or daylight source.
- b) Consider opportunities to incorporate natural ventilation for commercial and mixed use development. Design solutions include the use of cross ventilation or stack effect ventilation via atria, light wells or courtyards to reduce reliance on artificial sources.

A5. Building exteriors

The design of building exteriors create visual interest to the streetscape and unify developments of different styles and lot widths. Detailed architectural treatments, materials, finishes and colour have the potential to reference the history of the precinct and shape the future character of the area.



Photo 6.01-23 A well-articulated building which differentiates between base, middle and top, featuring high-quality facade materials and adopts materials that are typical of the area.

Performance criteria

A5.01 Building exteriors feature high quality design with robust materials and finishes

Acceptable solutions

- a) Materials and finishes complement the character of the precinct.
- b) External walls are constructed of high quality and durable materials and finishes with low maintenance attributes such as face brickwork, rendered brickwork, stone, concrete and glass.
- c) An exterior material and finishes sample board and schedule shall be submitted with development application to show the quality of the materials proposed.

Performance criteria

A5.02 Building exteriors make a positive contribution to the streetscape and public domain

Acceptable solutions

- a) Buildings are articulated to differentiate between the base, middle and top.
- b) Visually prominent parts of buildings such as balconies, overhangs, awnings, and roof tops are of high design quality.
- c) Roof lines are to be designed to create a visually interesting skyline with roof plant and lift overrun integrated into the overall architectural design of the building.
- d) Facades do not incorporate large expanses of a single material, including reflective glass.



Photo 6.01-24 This building defines the corner and features active uses on the ground floor and a well-articulated facade



Photo 6.01-25 Detailed design and building articulation along the street edge adds interest to the pedestrian environment



Photo 6.01-26 Balconies and terraces that overlook public spaces contribute to safety and casual surveillance

Performance criteria

A5.03 Building exteriors are designed ensure a positive contribution to streets and public spaces.

Acceptable solutions

- a) Building exteriors clearly define the adjoining streets, street corners and public spaces, designed with safety in mind and easy to navigate for pedestrians.
- b) Where development exposes a blank wall a visually interesting treatment is applied to the exposed wall.
- c) Balconies and terraces are provided where buildings overlook parks and squares to contribute to casual surveillance.
- d) External building facade lighting is integrated with the design of the building and contributes to the character of the building and surrounding area

Performance criteria

A5.04 Building exteriors respond to adjoining buildings.

Acceptable solutions

- a) Adjoining buildings are considered in terms of:
 - appropriate alignment of building line, awnings, parapets, cornice lines and street wall heights
 - setbacks above street wall heights
 - selection of materials and finishes
 - façade proportions including horizontal or vertical emphasis
 - detailing of the interface with adjoining buildings.

A6. Heritage buildings

This section applies to the assessment of building or alteration work (including demolition) of heritage items listed in Schedule 5 of the Newcastle LEP 2012 that requires development consent.

Additional guidelines for development within Heritage Conservation Areas are provided in the Newcastle DCP 2012, Heritage Technical Manual, City of Newcastle Heritage Strategy and the Newcastle East Heritage Conservation Area City Character Area contained in Part 02 of this Development Control Plan.

Within the city centre there are numerous heritage items of state and local significance that reflect the city's history and culture and make it unique. Retaining heritage buildings is an essential element in revitalising Newcastle.

The city centre contains a concentration of heritage items and streetscapes typified by late 19th and early 20th century buildings of between two and six storeys of a consistent scale, form and character. Many of these buildings have architectural emphasis at the skyline in the form of tower elements and parapet detail. The rich architectural detail of many heritage items is a distinctive characteristic of the Newcastle city centre.



Photo 6.01-27 Re-purposing of a heritage structure at Honeysuckle into the Newcastle Regional Museum

Performance criteria

A6.01 Development conserves and enhances the cultural significance of heritage items.

Acceptable solutions

- A heritage management report, prepared by a suitably qualified heritage specialist, ensures the proposal achieves this performance criteria.
- New development is consistent with the strategic actions of the City of Newcastle Heritage Strategy and the principles of the Newcastle Heritage Policy 2013
- New development enhances the character and heritage significance of heritage items, heritage conservation areas, archaeological sites or places of Aboriginal heritage significance.
- Views and sight lines to heritage items and places of historic and aesthetic significance are maintained and enhanced, including views of the Christ Church Cathedral, T&G Building, Newcastle Courthouse and former Post Office.

Performance criteria

A6.02 Infill development conserves and enhances the cultural significance of heritage items and their settings.

Acceptable solutions

- Design infill development to respond to the scale, materials and massing of adjoining heritage items. Design solutions include:
 - aligning elements such as eaves lines, cornices and parapets
 - responding to scale proportion, pattern, form or rhythm of existing elements such as the structural grid
 - complementary colours, materials and finishes.
- Infill development responds to heritage items, historic streetscapes, contributory buildings and the public domain using best practice methods, design philosophies and approaches.



Photo 6.01-28 Combining contemporary infill with heritage buildings creates an interesting relationship between old and new



Photo 6.01-29 The wharf buildings at Walsh Bay in Sydney are an example of successful adaptive reuse of heritage items



Photo 6.01-30 This historic maritime building has been transformed into the Honeysuckle Brewery, a popular destination at the waterfront

Performance criteria

A6.03 Alteration and additions respond appropriately to heritage fabric and the item's cultural significance.

Acceptable solutions

- New building work and uses encourage adaption that has minimal impacts and is low maintenance.
- Internal and external alterations and additions are designed as a contemporary layer that is readily identifiable from the existing building, responding to but not mimicking its forms of architectural details. Design solutions include separating new work from old by:
 - incorporating generous setbacks between existing and new fabric
 - glazed voids between new additions and the existing building
 - using shadow lines and gaps between old and new work
 - using lighting, materials and finishes that enhance and reveal aspects of the heritage item.
- Employ innovative design strategies to deal with existing physical aspects of heritage buildings that may not be ideal for the proposed new use. Design solutions may include:
 - introducing generously sized voids to improve access to natural light and ventilation when building depth is greater than recommended.
 - facilitate sunlight access in heritage items by using the full depth of rooms and introducing skylights and clerestory windows where ceiling heights are high.
 - expose services, wall and ceiling framing, particularly in public areas and foyers, to reveal the significant internal fabric of heritage items.
 - exposing, re-using and interpreting the fabric of existing interiors.

Performance criteria

A6.04 New building elements support future evolution of the heritage item.

Acceptable solutions

- Alterations are reversible and easily removed.
- Primary and significant fabric is retained including structure.
- New work is physically set-off the existing fabric.
- Alterations and additions allow the ongoing adaptation of the heritage item in the future.

A6. Heritage buildings



Photo 6.01-32 The Grand Hotel in Newcastle, built in 1890, has been altered a number of times while retaining its historic integrity



Photo 6.01-31 Example of a supermarket integrated into a heritage building in Pyrmont, Sydney

Alternative solutions

Key development controls or standards may need to be varied for adaptive re-use residential projects to facilitate appropriate heritage responses and development viability. Standards and controls that may need to be varied relate to:

- building and room depths
- building separation
- visual privacy
- deep soil requirements
- car parking requirements
- common circulation in apartment buildings

Performance criteria

A6.05 Employ interpretation treatments when altering, adapting or adding to a heritage item.

Acceptable solutions

- a) Expose the fabric of heritage items by removing later additions that obscure and detract from heritage fabric.
- b) Incorporate contemporary insertions in the building in a manner that allows the building layers to be readily identifiable and appreciated.
- c) Provide interpretive treatments. Design solutions include:
 - displays of artefacts and objects associated with the heritage item in foyers and public areas.
 - public art that references the cultural significance of the heritage item.

Performance criteria

A6.06 Encourage new uses for heritage buildings.

Acceptable solutions

- a) Employ innovative design strategies to enable heritage items and contributory buildings to accommodate new uses. Design solutions may include:
 - new building elements/additions that expand the existing envelope of the heritage building while still respecting and minimising impact on cultural significance.
- b) Use innovative approaches to provide car parking where the provision of a basement or other on-site car parking is not possible. Design solutions include:
 - allowing heritage building to provide less car parking than is normally required for that land use, or no car parking where not physically possible
 - using car share schemes
 - sharing space within existing nearby car parking structures
 - planning agreements.