

NOTES

1. ALL DIMENSIONS SHOWN ARE IN METRES U.S.O.
2. ALL CO-ORDINATES AND LEVELS SHOWN ON THIS DRAWING SHALL BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORKS ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT WITHIN SEVEN DAYS.
3. ALL HEIGHTS ARE TO AUSTRALIAN HEIGHT DATUM (AHD) AND ALL LEVELS SHALL BE DERIVED FROM ESTABLISHED BENCHMARKS.
4. ALL BENCHMARKS ARE TO BE PROTECTED AND PRESERVED UNLESS NOTED ON PLANS.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATION AND ALSO THE REQUIREMENTS OF THE CITY OF WANNEROO.
6. DUST SUPPRESSION METHODS SHALL BE APPLIED BY THE CONTRACTOR DURING OPERATIONS IN ACCORDANCE WITH THE DUST MANAGEMENT PLAN.
7. ALL FOOTINGS, SHALL BE COMPACTED TO 95% OF THE MODIFIED MAXIMUM DRY DENSITY (M.M.D.D.) TO A DEPTH OF 750mm WHEN TESTED IN ACCORDANCE WITH AS 1289 5.2.1. ANY REGIONS OF THE FOUNDATION DEEMED UNACCEPTABLE BY THE SUPERINTENDENT SHALL BE REPLACED WITH CLEAN FILL TO THE NECESSARY STANDARD.
8. ALL BACK FILL SHALL BE PLACED IN UNIFORM LAYERS NOT EXCEEDING 300mm THICKNESS AND COMPACTED TO A DENSITY NOT LESS THAN 95% M.M.D.D.
9. CONTRACTOR TO INSTALL A TWO STRAND STAR PICKET FENCE WITH RING LOCK FENCING BEHIND THE TOP COURSE OF ALL RETAINING WALLS EXCEEDING 900mm HIGH. STAR IRON PICKETS TO HAVE CAPS AND STRAND OF TAPE FIXED TO TOP WIRE AT 2.0m INTERVALS (MIN).
10. NON-SACRIFICIAL ANTI-GRAFFITI COATING TO BE APPLIED TO WALLS / FENCES EXPOSED TO ANY ROAD RESERVE, POS, PAW OR SCHOOL SITE. CONFIRMATION THAT COATING HAS BEEN APPLIED ALONG WITH CLEANING SPECIFICATION TO BE PROVIDED TO THE CITY AS PART OF 'AS CONSTRUCTED' PROVISION.
11. BACK FACE OF WALL TO BE POINTED UP WHERE FILL DOES NOT COVER.
12. MORTAR TESTS AT RATE OF 1 PER 50 LINEAR METRES OF WALLS.
13. ALL WALLS SHALL BE SET ON BOUNDARY OF LOT BEING RETAINED AND SHALL BE CONFIRMED BY SURVEYOR ON COMPLETION OF FIRST ROW OF COURSE. THE SURVEY INFORMATION SHALL BE ISSUED TO THE SUPERINTENDENT FOR REVIEW PRIOR TO ANY FURTHER CONSTRUCTION CONTINUING/COMMENCING.
14. CONTRACTOR TO OBTAIN BUILDING LICENCE.
15. ALL BLOCKS TO BE RECONSTITUTED LIMESTONE UNLESS SHOWN OTHERWISE.
16. AS-CONSTRUCTED INFORMATION SHALL BE RECORDED AS THE WORK IS CARRIED OUT AND TIED TO CADASTRAL BOUNDARIES BY A QUALIFIED SURVEYOR. SUBMIT ALL DETAILS TO SUPERINTENDENT.

LEGEND

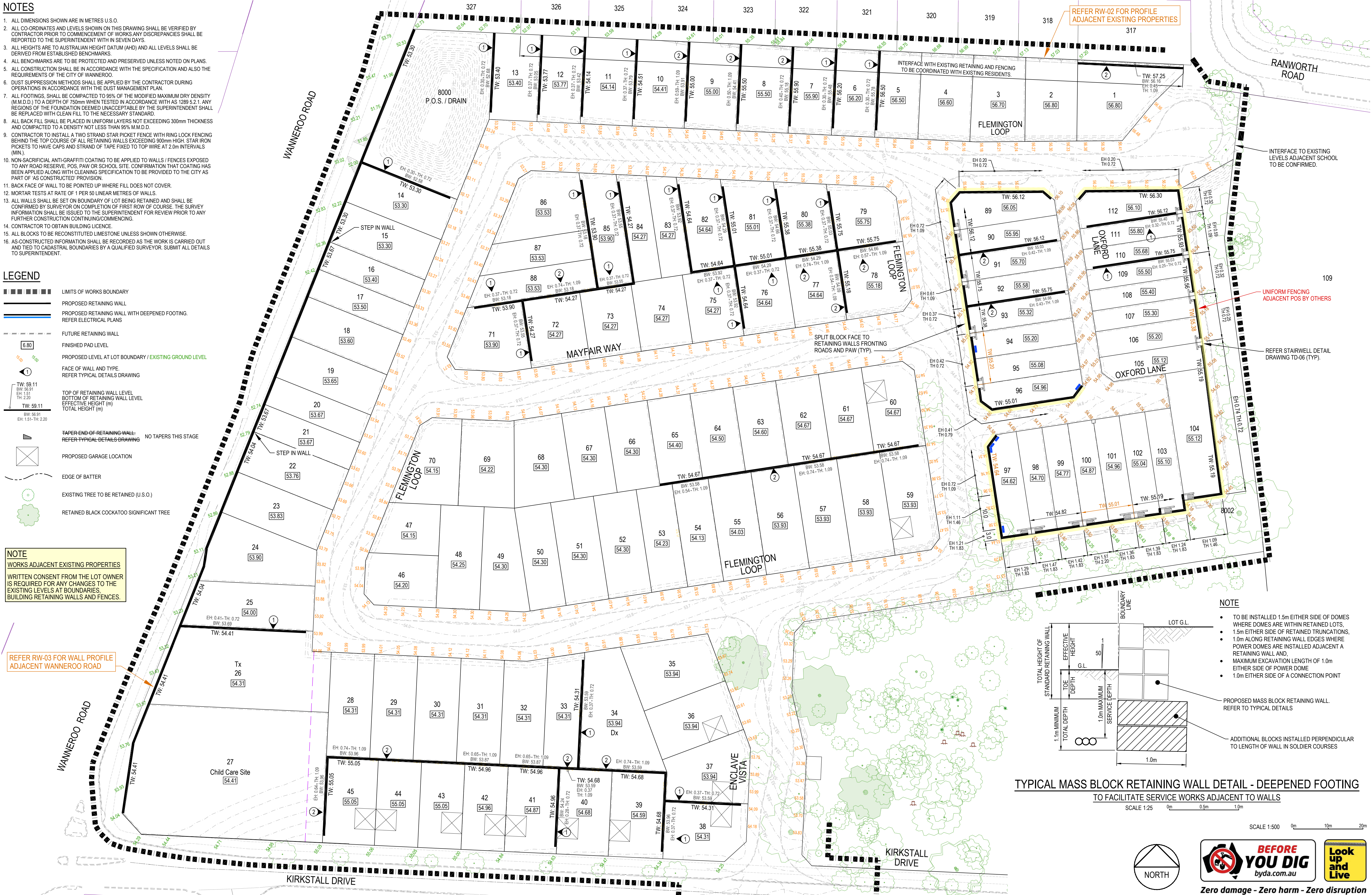
- LIMITS OF WORKS BOUNDARY
- PROPOSED RETAINING WALL
- PROPOSED RETAINING WALL WITH DEEPEENED FOOTING. REFER ELECTRICAL PLANS
- FUTURE RETAINING WALL
- FINISHED PAD LEVEL
- PROPOSED LEVEL AT LOT BOUNDARY / EXISTING GROUND LEVEL
- FACE OF WALL AND TYPE. REFER TYPICAL DETAILS DRAWING
- TOP OF RETAINING WALL LEVEL
BOTTOM OF RETAINING WALL LEVEL
EFFECTIVE HEIGHT (m)
TOTAL HEIGHT (m)
- TAPER END OF RETAINING WALL. NO TAPERS THIS STAGE. REFER TYPICAL DETAILS DRAWING
- PROPOSED GARAGE LOCATION
- EDGE OF BATTER
- EXISTING TREE TO BE RETAINED (U.S.O.)
- RETAINED BLACK COCKATOO SIGNIFICANT TREE

NOTE

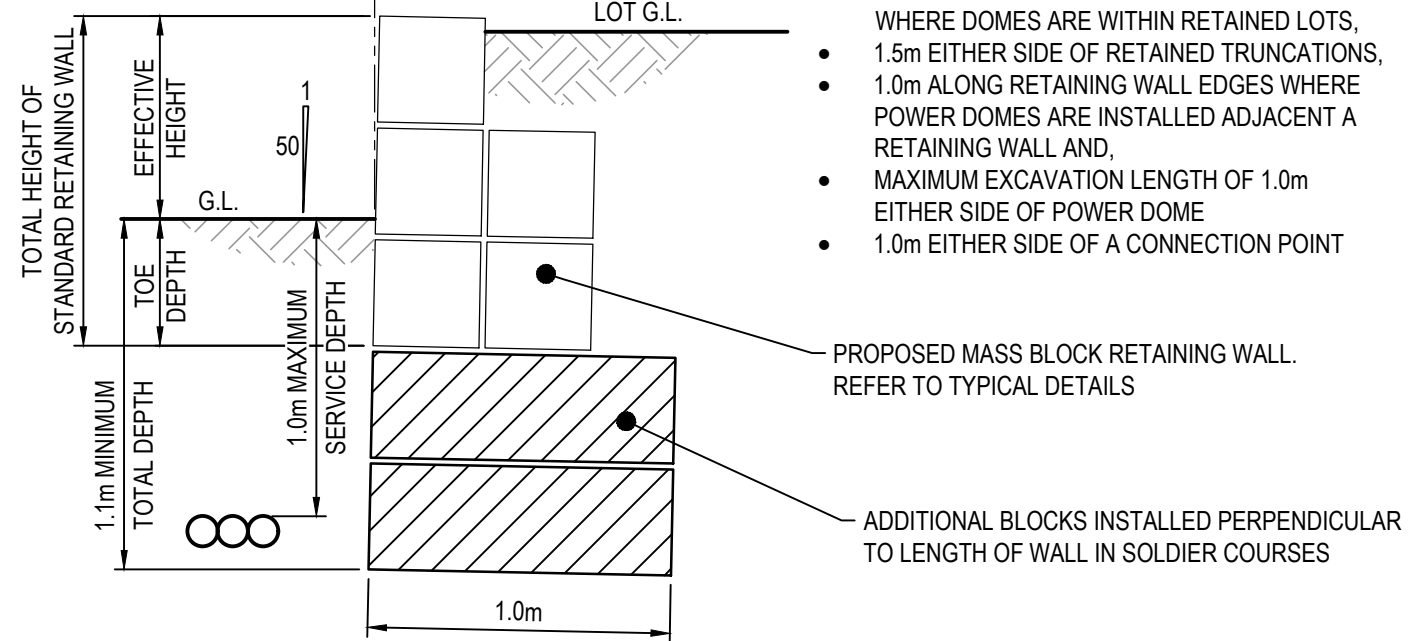
WORKS ADJACENT EXISTING PROPERTIES
WRITTEN CONSENT FROM THE LOT OWNER IS REQUIRED FOR ANY CHANGES TO THE EXISTING LEVELS AT BOUNDARIES, BUILDING RETAINING WALLS AND FENCES.

REFER RW-03 FOR WALL PROFILE ADJACENT WANNEROO ROAD

REFER RW-02 FOR PROFILE ADJACENT EXISTING PROPERTIES



TYPICAL MASS BLOCK RETAINING WALL DETAIL - DEEPEENED FOOTING TO FACILITATE SERVICE WORKS ADJACENT TO WALLS

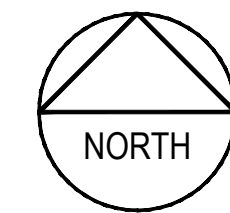


NOTE

- TO BE INSTALLED 1.5m EITHER SIDE OF DOMES WHERE DOMES ARE WITHIN RETAINED LOTS,
- 1.5m EITHER SIDE OF RETAINED TRUNCATIONS,
- 1.0m ALONG RETAINING WALL EDGES WHERE POWER DOMES ARE INSTALLED ADJACENT A RETAINING WALL AND,
- MAXIMUM EXCAVATION LENGTH OF 1.0m EITHER SIDE OF POWER DOME
- 1.0m EITHER SIDE OF A CONNECTION POINT

PROPOSED MASS BLOCK RETAINING WALL. REFER TO TYPICAL DETAILS

ADDITIONAL BLOCKS INSTALLED PERPENDICULAR TO LENGTH OF WALL IN SOLDIER COURSES



Zero damage - Zero harm - Zero disruption

FILE PATH: T:\PROJECTS\PF2021\HOCKING\CAD\DRAWINGS\STAGE 01\2501-C1-RW-01

REV	DATE	DESCRIPTION	BY	CHKR	REV	DATE	DESCRIPTION	BY	CHKR
4	15/6/26	LANDSCAPE WALL REMOVED POS 8000	DG	EH					
3	25/5/26	EXTENT OF WALL ADJACENT WANNEROO ROAD REVISED	DG	EH					
2	12/5/26	WALL DETAILS ADDED, LOTS 89-112	DG	EH					
1	17/4/26	BATTERING / WALL ADJACENT NORTHERN BOUNDARY	DG	EH					
0	23/2/26	ISSUED FOR CONSTRUCTION	DG	EH					



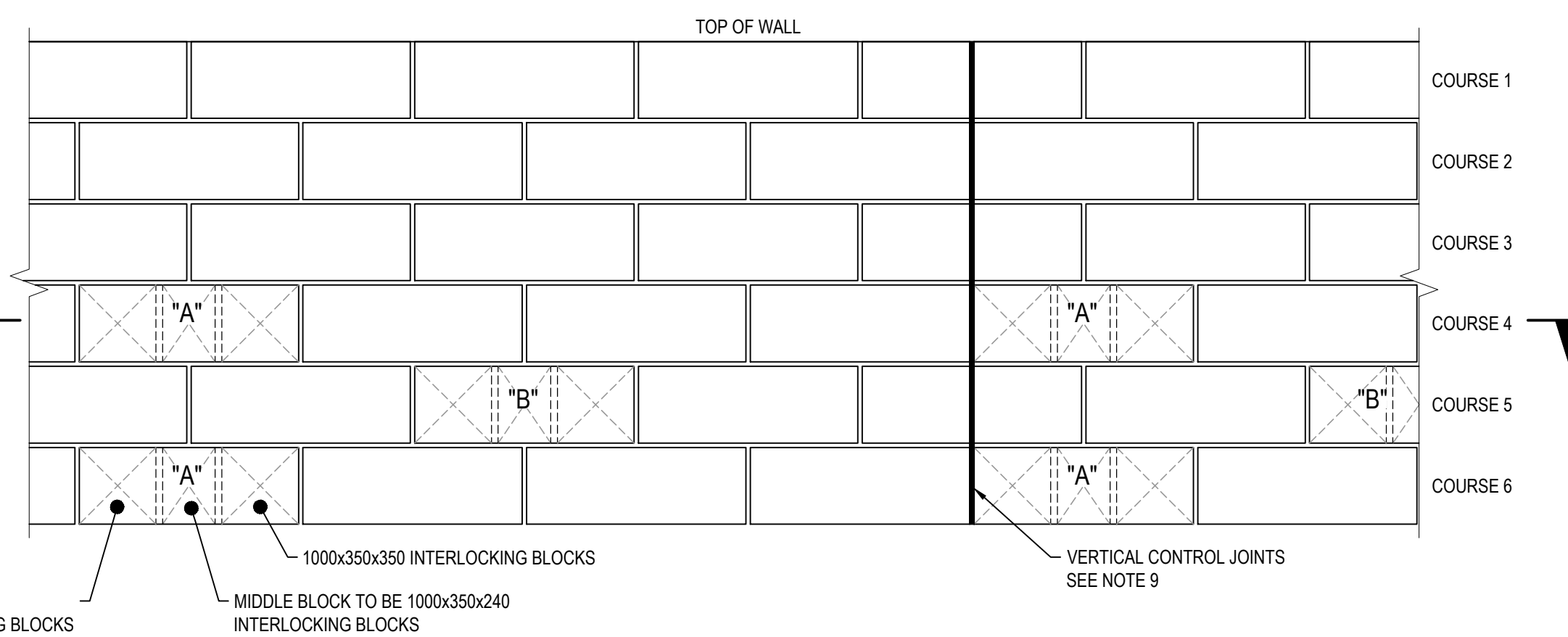
FOR CONSTRUCTION			
DATE	DECEMBER 2025	GRID	PCG94
DESIGNED	DG	CHECKED	EH
W.A.P.C.	202120	SCALE U.N.D.	AS SHOWN @

CLIENT & JOB	LAND GROUP (WA) - HOCKING PTY LTD LOT 594 RANWORTH ROAD, HOCKING
TITLE	RETAINING WALL PLAN
SHEET SIZE	A1
DRG No.	25201-C1-RW-01
REVISION	4

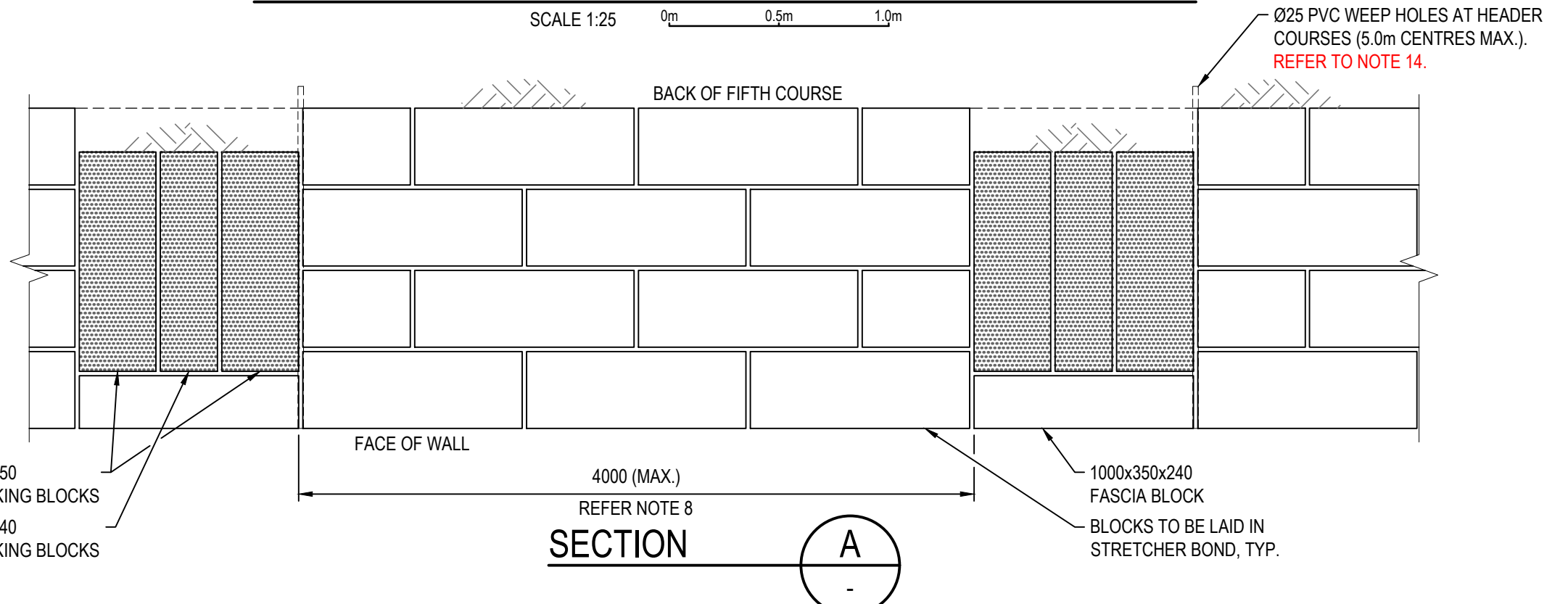
TYPICAL MASS BLOCK RETAINING WALL DETAIL - TYPE 3 - CLASS "A"

PRODUCT EQUIVALENT IN FUNCTION, QUALITY, ETC. TO THE
APPROVAL OF THE SUPERINTENDENT'S REPRESENTATIVE.

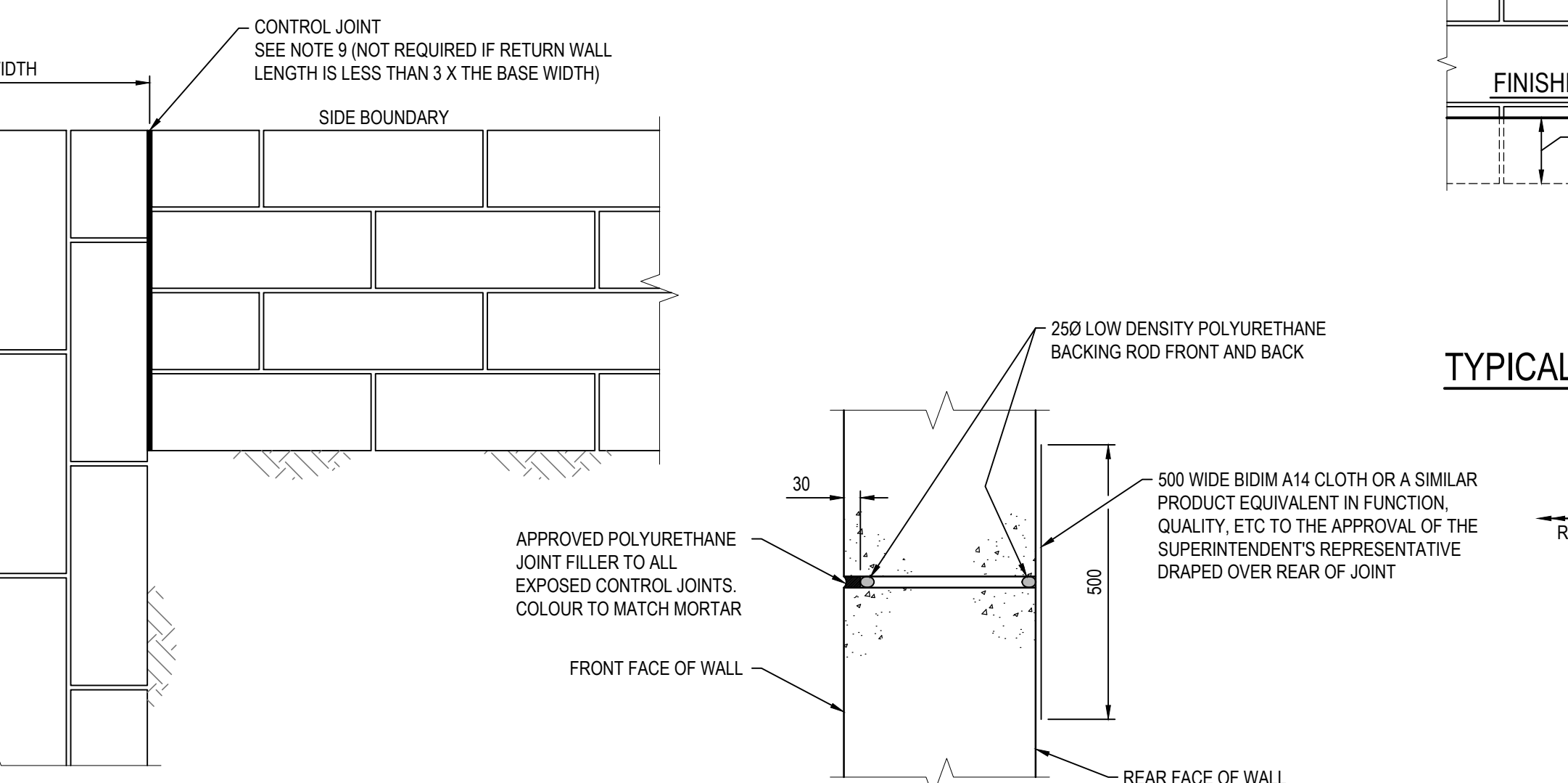
BLOCKWORK NOMINALLY ——— FOR FENCED WALL.

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TYPICAL MASS BLOCK RETAINING WALL "TYPE 3" ELEVATION



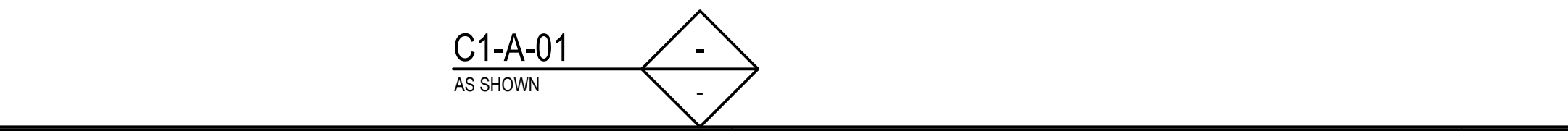
TYPICAL MASS BLOCK RETAINING WALL HEADER LAYOUT



PLAN VIEW OF CORNER CONTROL JOINT LOCATION VERTICAL CONTROL JOINT DETAIL



TYPICAL CLASS 'A' MASS BLOCK RETAINING WALL DETAILS

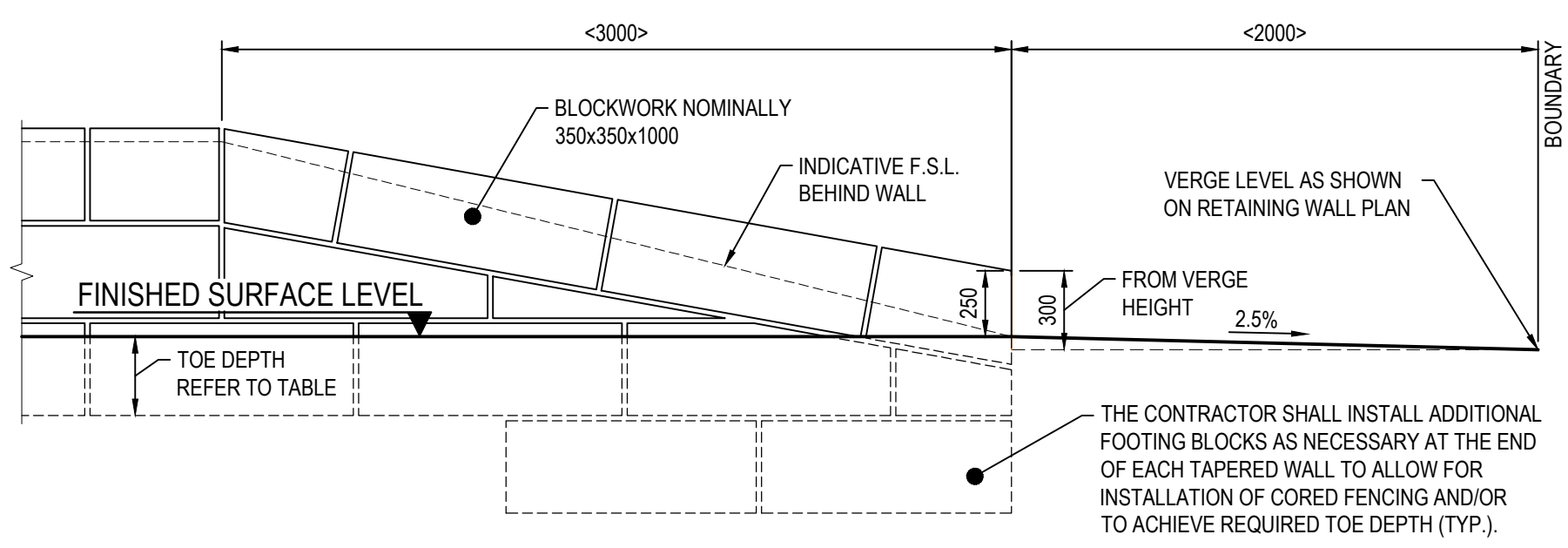


MASS BLOCK RETAINING WALL AND FENCE NOTES

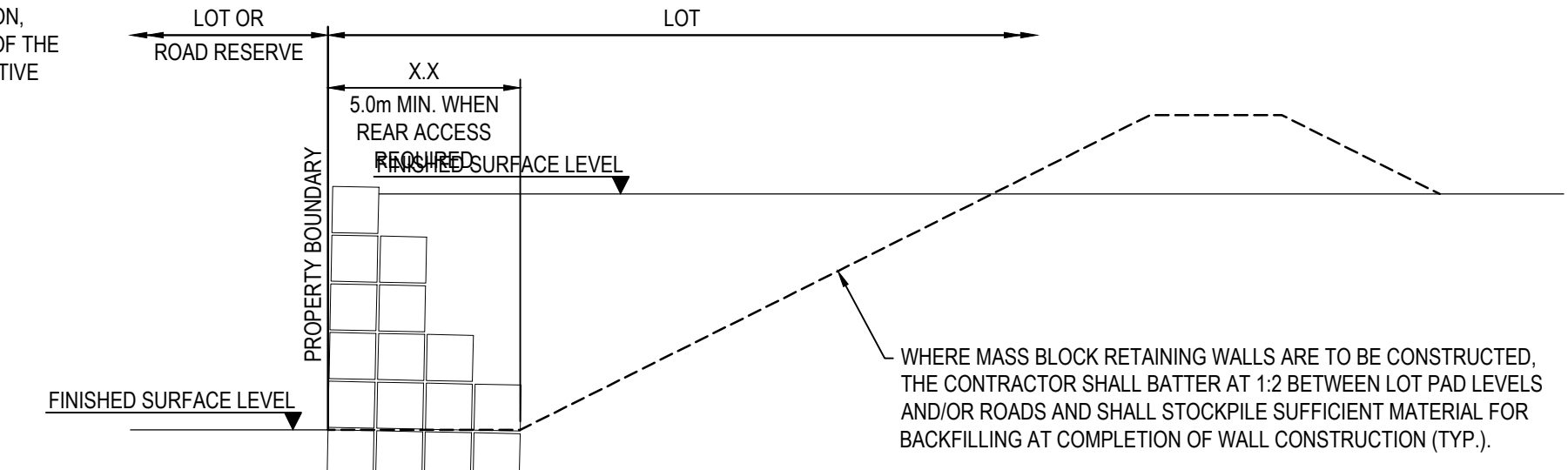
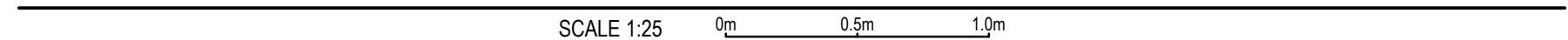
1. COMPACT GROUND UNDER FOOTING TO RESIST 8 BLOWS PER 300mm OF A STANDARD 16mm DIA PENEOMETER OVER A DEPTH OF 600mm
2. MASS RETAINING WALL BLOCKS MUST BE RECONSTITUTED LIMESTONE BLOCKS AND BE A MINIMUM DENSITY OF 1800kg/m³ (DRY).
3. MORTAR MIX SHALL COMPRISE 1 PART CEMENT, 1 PART LIME PUTTY, AND 6 PARTS CLEAN YELLOW SAND OR 1 PART WHITE CEMENT, 0.5 PART LIME PUTTY AND 4.5 PARTS YELLOW SAND IF LESS THAN 1km FROM THE COAST. ALL BLOCK WORK SHALL BE FULLY MORTARED TO ADJACENT BLOCKS.
4. THESE WALLS ARE APPLICABLE FOR CLASS 'A' CONDITIONS ONLY TO AS 2870. ALL OTHER CONDITIONS TO BE REFERRED TO ENGINEER.
5. ALL MASS BLOCK RETAINING WALLS HAVE BEEN CALCULATED WITH A HORIZONTAL BACKFILL. ANY OTHER CIRCUMSTANCES TO BE ASSESSED INDIVIDUALLY.
6. THE MASS BLOCK RETAINING WALL HAS BEEN DESIGNED TO SUPPORT A 5kPa SURCHARGE.
7. INTERLOCKING BLOCK COURSEING TO BE STAGGERED AS PER TYPICAL DETAIL.
8. WALL TO HAVE INTERLOCKING BLOCKS COMMENCING AT 4th COURSE FROM TOP, PERPENDICULAR TO FACING AT MAXIMUM 4m SPACING TO ACHIEVE INTERLOCK OF STRUCTURE.
9. WALLS SHALL HAVE VERTICAL CONTROL JOINTS AT INTERVALS OF NO MORE THAN 10 METRES FOR TYPE 1 WALLS, 15 METRES FOR TYPE 2 AND 3 WALLS, PREFERABLY LOCATED AT PROPERTY BOUNDARIES. JOINTS REQUIRED ALSO ON CORNERS AS PER ATTACHED DETAIL. JOINTS SHALL BE 20mm WIDE. BE FILLED WITH A 25mm CLOSED CELL FOAM AND SEALED WITH AN APPROVED POLYURETHANE JOINT FILLER.
10. NO BACKFILLING UNTIL 7 DAYS AFTER WALLS HAVE BEEN BUILT. COMPACT USING LIGHT EQUIPMENT TO DISTANCE BACK FROM THE FACE OF WALL EQUAL TO THE EFFECTIVE HEIGHT.
11. FENCE TO BE PROPRIETARY SYSTEM BY OTHERS - WALL DESIGNED FOR WIND REGION A ONLY.
12. FENCE POSTS SHALL BE AT 2400mm MAXIMUM CENTRES.
13. NON-SACRIFICIAL ANTI-GRAFFITI COATING TO BE APPLIED TO WALLS EXPOSED TO ANY ROAD RESERVE, POS, PAW OR SCHOOL SITE. CONFIRMATION THAT COATING HAS BEEN APPLIED ALONG WITH CLEANING SPECIFICATION TO BE PROVIDED TO THE CITY AS PART OF 'AS CONSTRUCTED' PROVISION.
14. WEEPHOLES TO BE CONSTRUCTED IN WALLS WHERE FOOTINGS ARE IN CLAY, ROCK, CAPSTONE OR LESS THAN 600mm OF SAND AND/OR IN AREAS OF HIGH GROUND WATER (TYP.).

WALL TYPE "3"

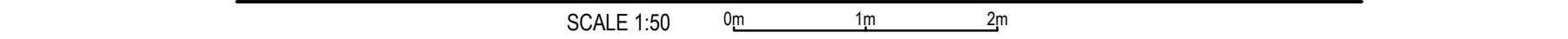
COURSES	TOTAL HEIGHT	EFFECTIVE HEIGHT RANGE	BASE WIDTH	MIN. TOE DEPTH
4	1460	790 - 1110	1090	350
5	1830	1111 - 1480	1460	350
6	2200	1481 - 1850	1460	350
7	2570	1851 - 2170	1830	400
8	2940	2171 - 2540	2200	400
9	3310	2541 - 2810	2200	500
10	3680	2811 - 3180	2570	500
11	4050	3181 - 3550	2940	500



TYPICAL MASS BLOCK RETAINING WALL FRONT TAPER TO SIDE BOUNDARY DETAIL



MASS BLOCK RETAINING WALL TEMPORARY BATTER DETAIL



DRAWING STATUS						CLIENT & JOB	
FOR CONSTRUCTION						LAND GROUP (WA) - HOCKING PTY LTD LOT 594 RANWORTH ROAD, HOCKING	
DATE		GRD		DATUM		TITLE	
DECEMBER 2025		PCG94		AHD		RETAINING WALL DETAILS PLAN	
DESIGNED	DRAWN	CHECKED	APPROVED				
DG	DW	EH	PP /				
W.A.P.C.		SCALE IN NO.		SHEET SIZE	DRG No.		REVISION
202120		AS SHOWN @		A1	25201-C7-TD-05		1