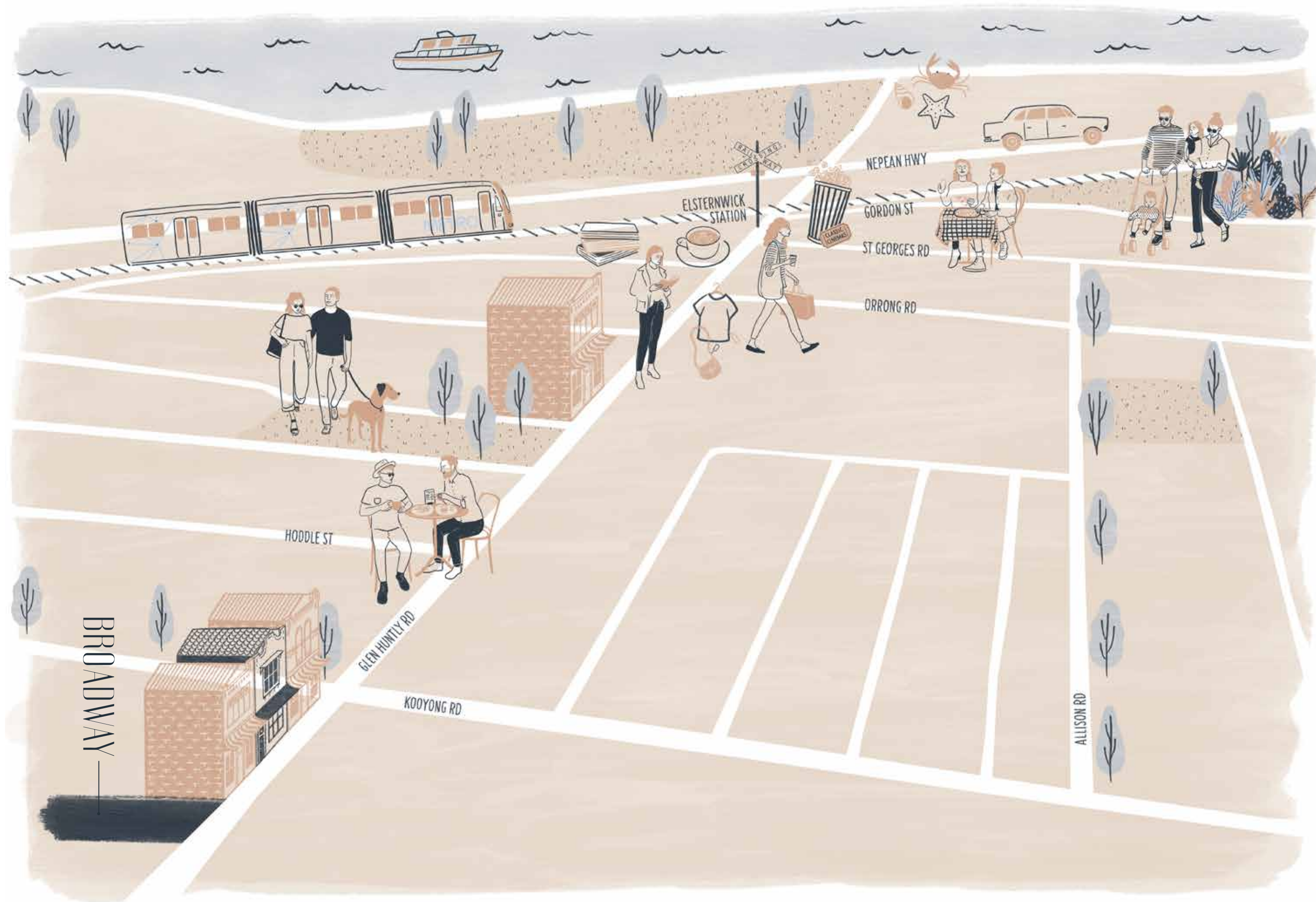


BROADWAY





DESIGN

AN INSPIRED COMPOSITION
OF ELEGANT DESIGN AND
SOPHISTICATED INTERIORS.

SECTION 01





Artist Impression of Living Area





BROADWAY'S UNIQUE,
ASYMMETRICAL FORM NODS TO
INNOVATION AND PROGRESSION,
WHILE ITS REFINED COLOUR
PALETTE HARKS BACK TO THE
MATERIALITY OF EDWARDIAN
AND VICTORIAN ARCHITECTURE.





Artist Impression of Dining and Kitchen





Artist Impression of Bedroom



Artist Impression of Living Area



Artist Impression of Kitchen



Artist Impression of Bathroom

IMMERSE YOURSELF IN A
VIBRANT LIFESTYLE, WHERE
CULTURAL GEMS ABOUND.



Elwood

Ripponlea

St Kilda

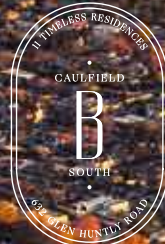
Elsternwick

Caulfield South

Caulfield

Prahran

CBD





ROLL & STROLL

With its plethora of leafy green retreats and recreational hubs, it's no surprise Caulfield South is a favourite among families. A locale that lends itself to an outdoor lifestyle, fill your days with leisurely strolls, spirited ball games and sunny picnics at one of many nearby parks – there's Hopetoun Gardens, Elsternwick Park, Harleston Park, Rippon Lea Estate and a handful of others, all within incredibly close proximity.



WINE & DINE

If you're a foodie, living on Glen Huntly Road will feel like nothing short of a dream come true. Explore a melting pot of cuisines on any night of the week, from Polish to South-East Asian and back again. Here, sleek new establishments like Bang Bang share the strip with a collection of local institutions, ensuring you're spoilt for choice no matter what you're in the mood for.



GLEN HUNTLY ROAD



ABOVE — Classic Cinemas.

RIGHT — Hanoi Hannah, Mothers Instinct.





ABOVE — Bang Bang, After The Tears.
RIGHT — 48h Pizza e Gnocchi.



EVERYTHING YOU
COULD EVER NEED ON
ONE VIBRANT STRIP.

- Eating and Drinking
- Shopping and Entertainment
- ⊙ Transport
- + Health and Beauty
- * Services

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COULD EVER NEED ON
ONE VIBRANT STRIP.



- Eating and Drinking
- Shopping and Entertainment
- ⊙ Transport
- + Health and Beauty
- * Services



ABOVE — The Fruit Shop.
RIGHT — Hunter and Co Deli, Aviv.





ABOVE — The Fruit Shop.
RIGHT — Hunter and Co Deli, Aviv.





ABOVE — Hopetoun Gardens.
RIGHT — Elsternwick Park, Station Reserve.



LOCAL SURROUNDS



OPPOSITE — Ripponlea Food and Wine.



ABOVE — Harleston Park.
RIGHT — Rippon Lea Estate.





ABOVE — Mr Brightside, Glovers Station.
RIGHT — Ripponlea Food and Wine.



ABOVE — Elwood Beach.
RIGHT — Elsternwick Station, No. 67 Tram.



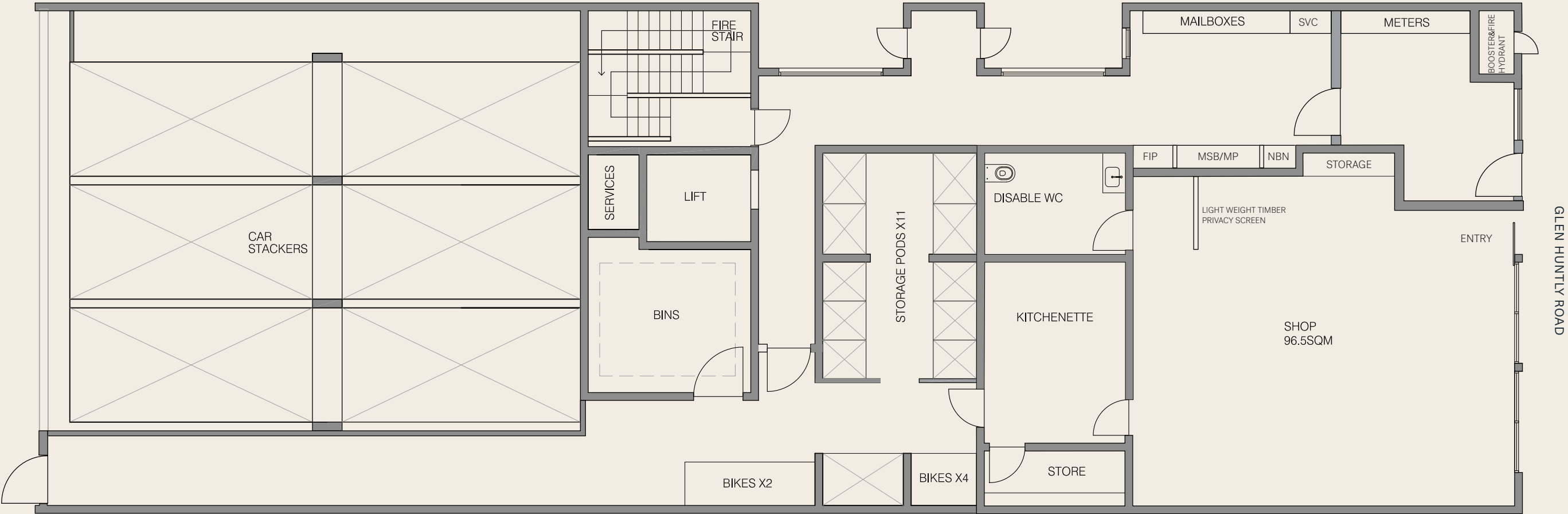


ABOVE — Wesley College, Kilvington Grammar.
RIGHT — Caulfield Grammar.

LEVEL PLANS

LEVEL PLANS

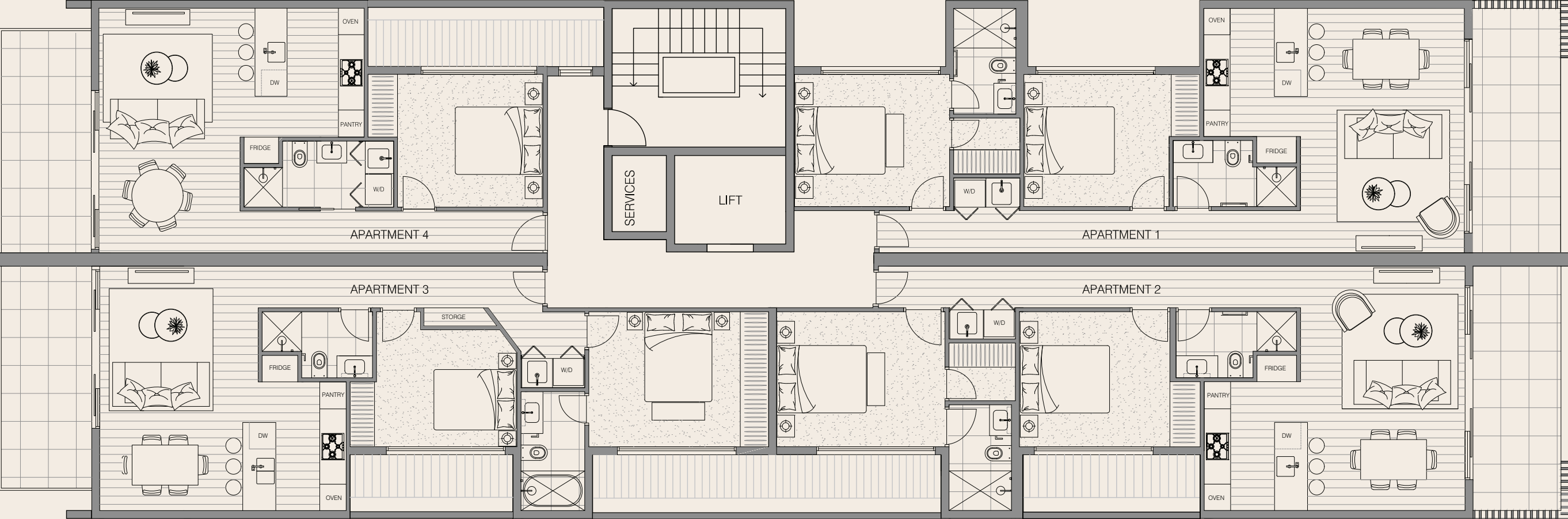
SECTION 03



GROUND FLOOR



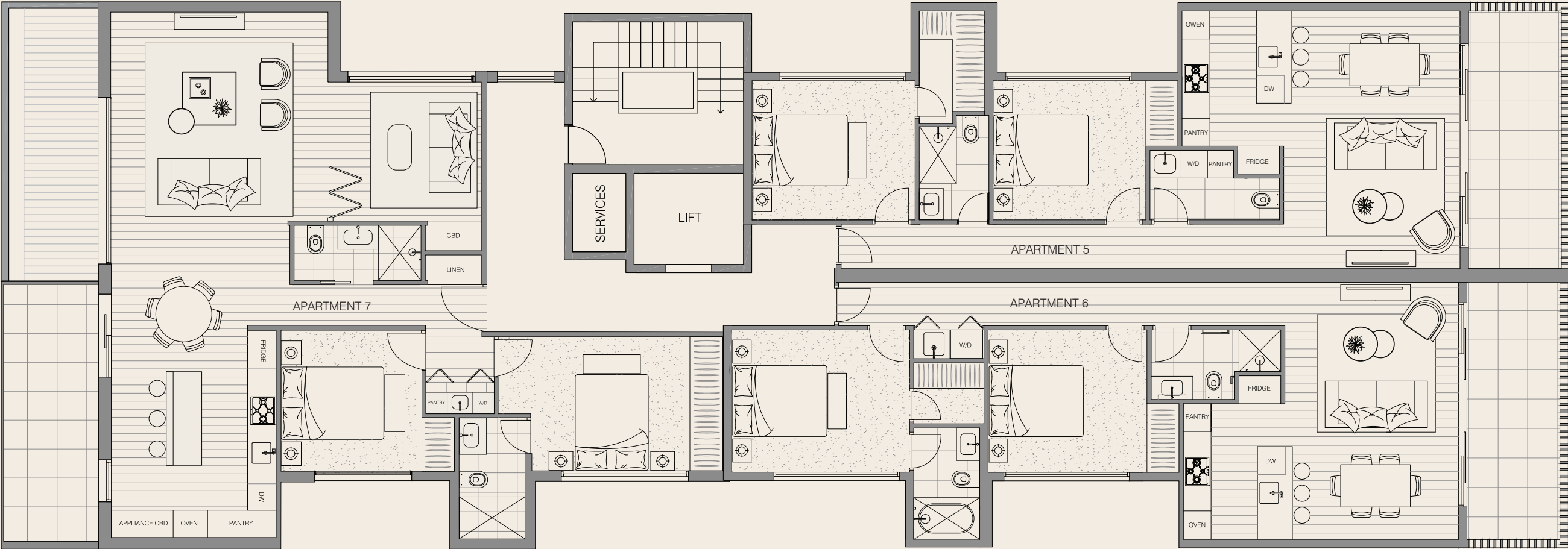
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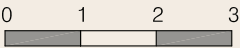
FIRST FLOOR



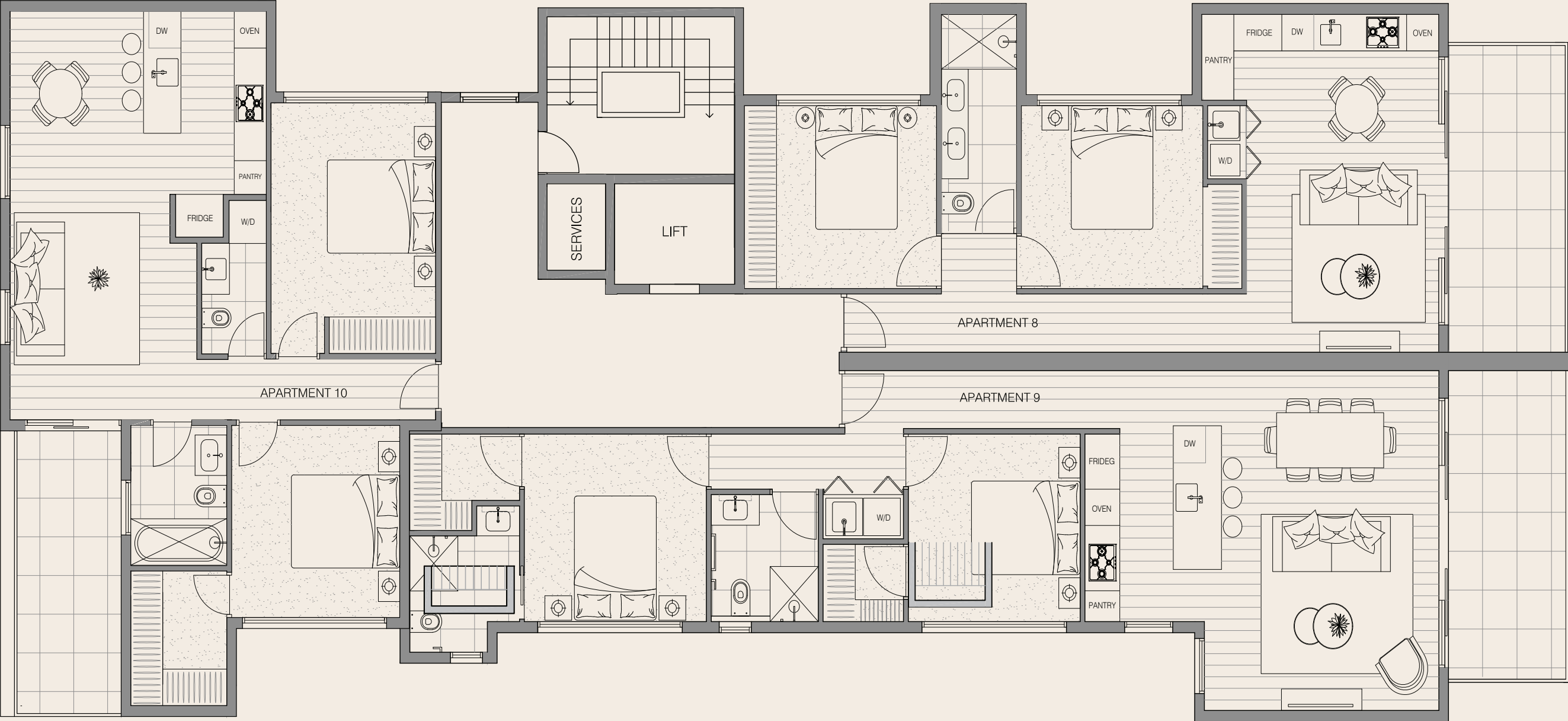
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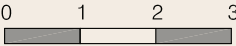
SECOND FLOOR



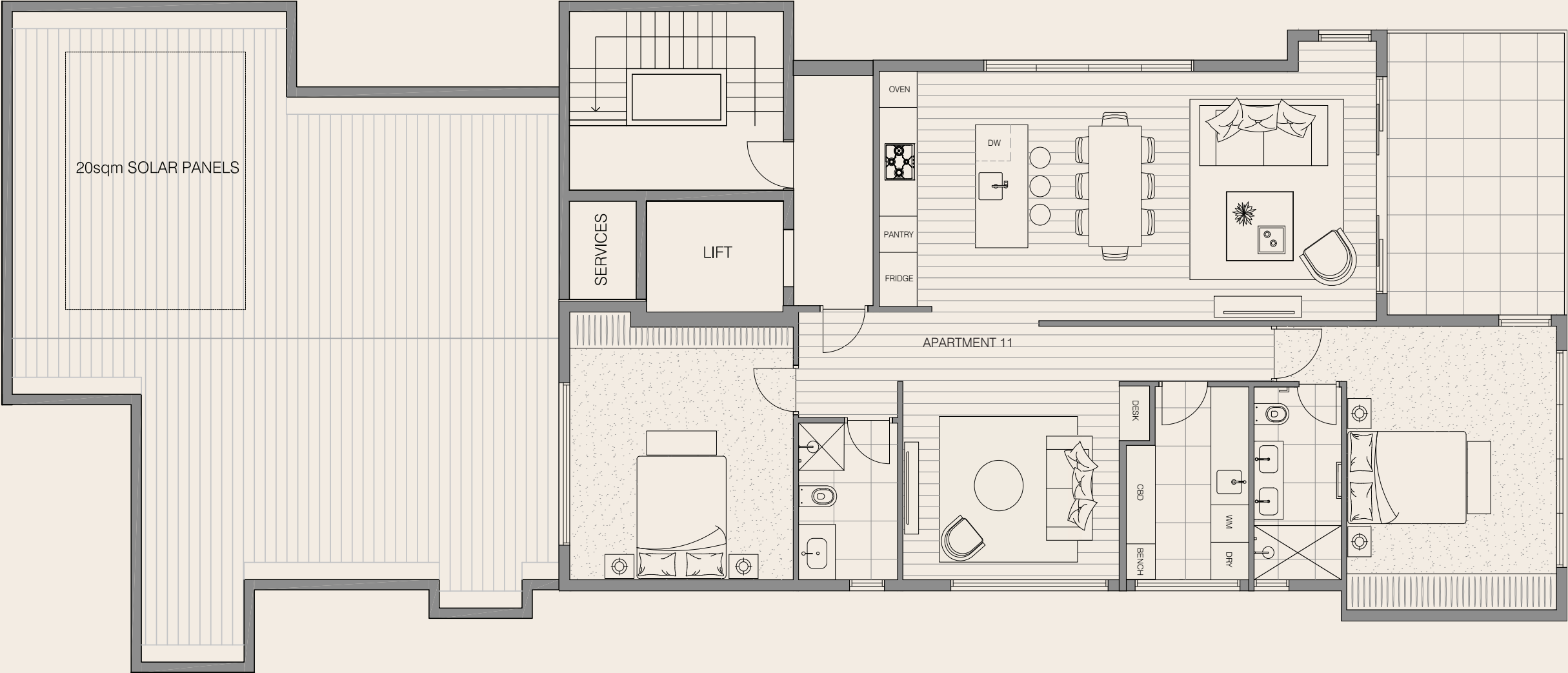
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THIRD FLOOR



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FOURTH FLOOR

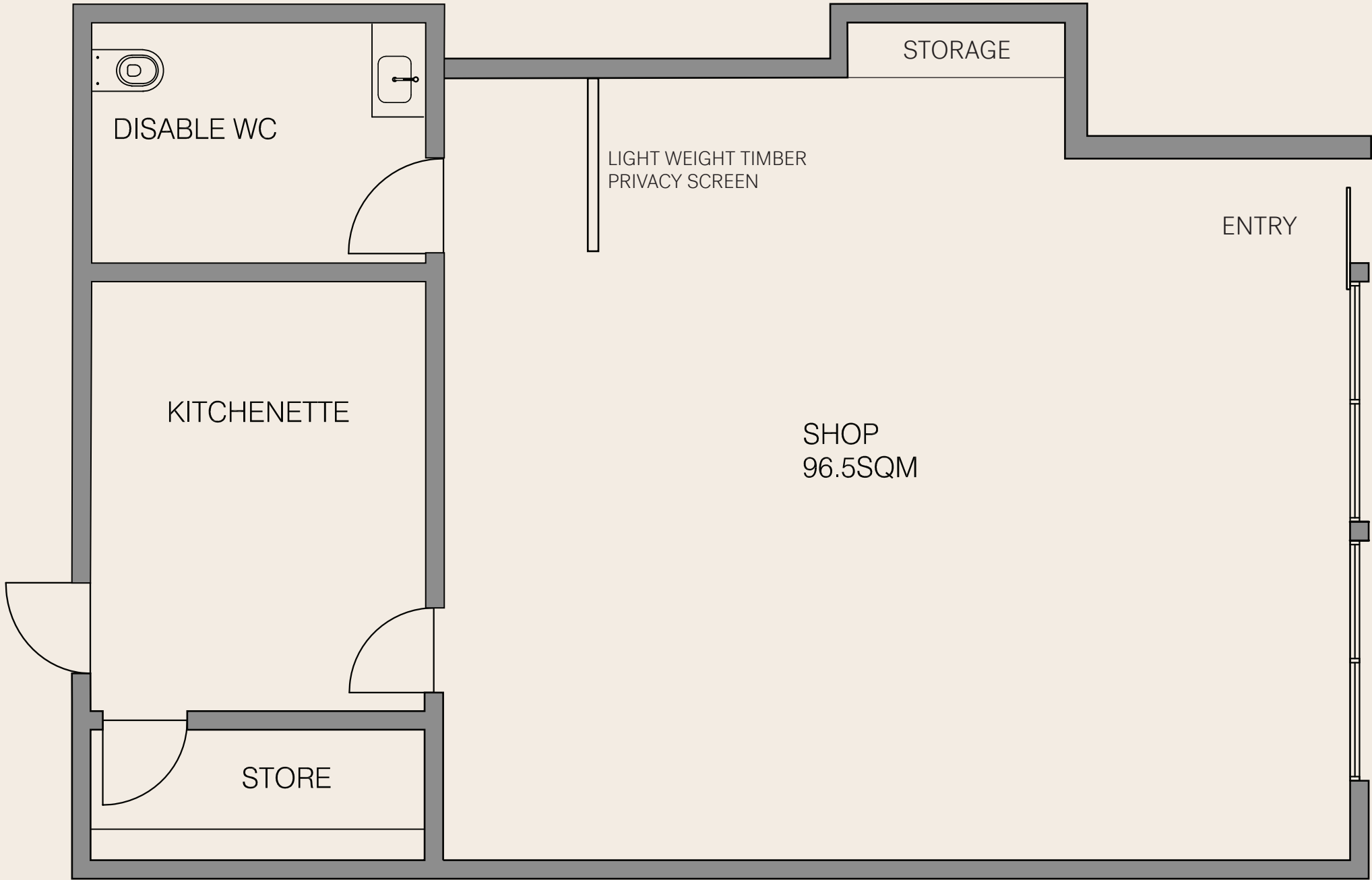


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FLOOR PLANS

FLOOR PLANS

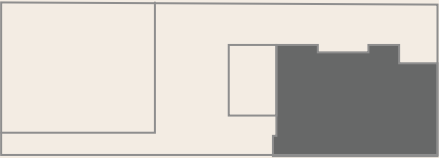
SECTION 04



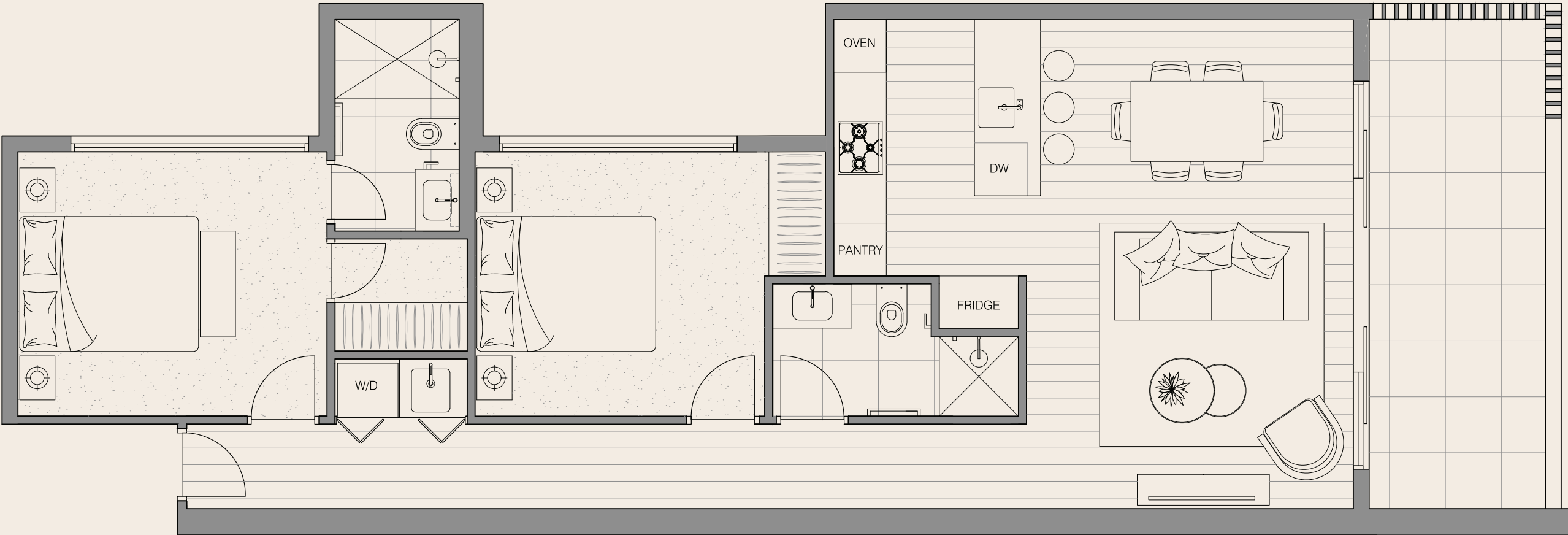
RETAIL

GROUND FLOOR

Toilet	01
Kitchen	01
Store	01



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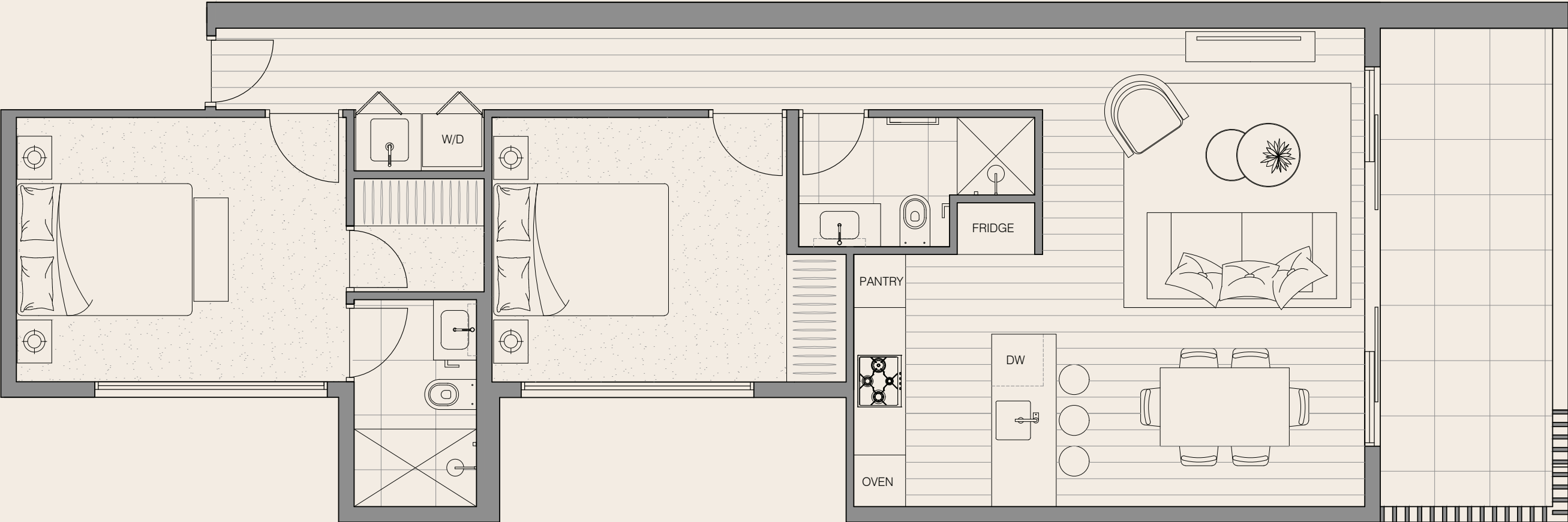
APARTMENT 01

FIRST FLOOR

Bedrooms	02	Internal SQM	79
Bathrooms	02	External SQM	13
Carspaces	01	Total SQM	92



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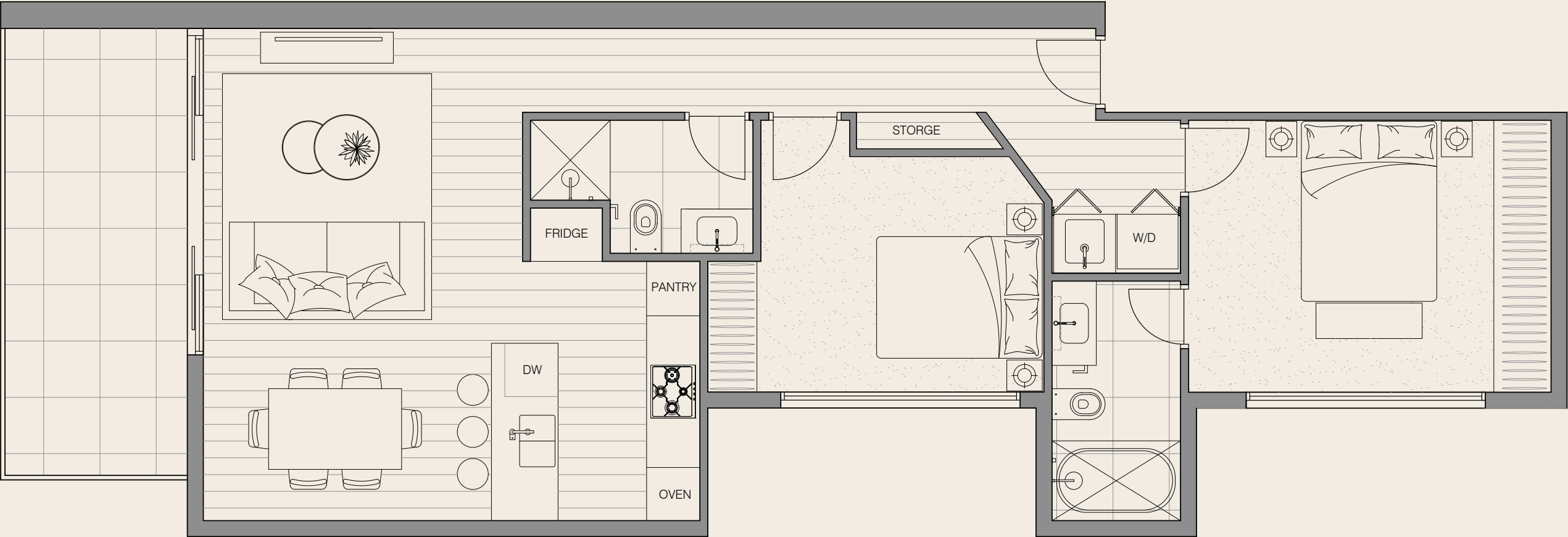
APARTMENT 02

FIRST FLOOR

Bedrooms	02	Internal SQM	81
Bathrooms	02	External SQM	13
Carspaces	01	Total SQM	94



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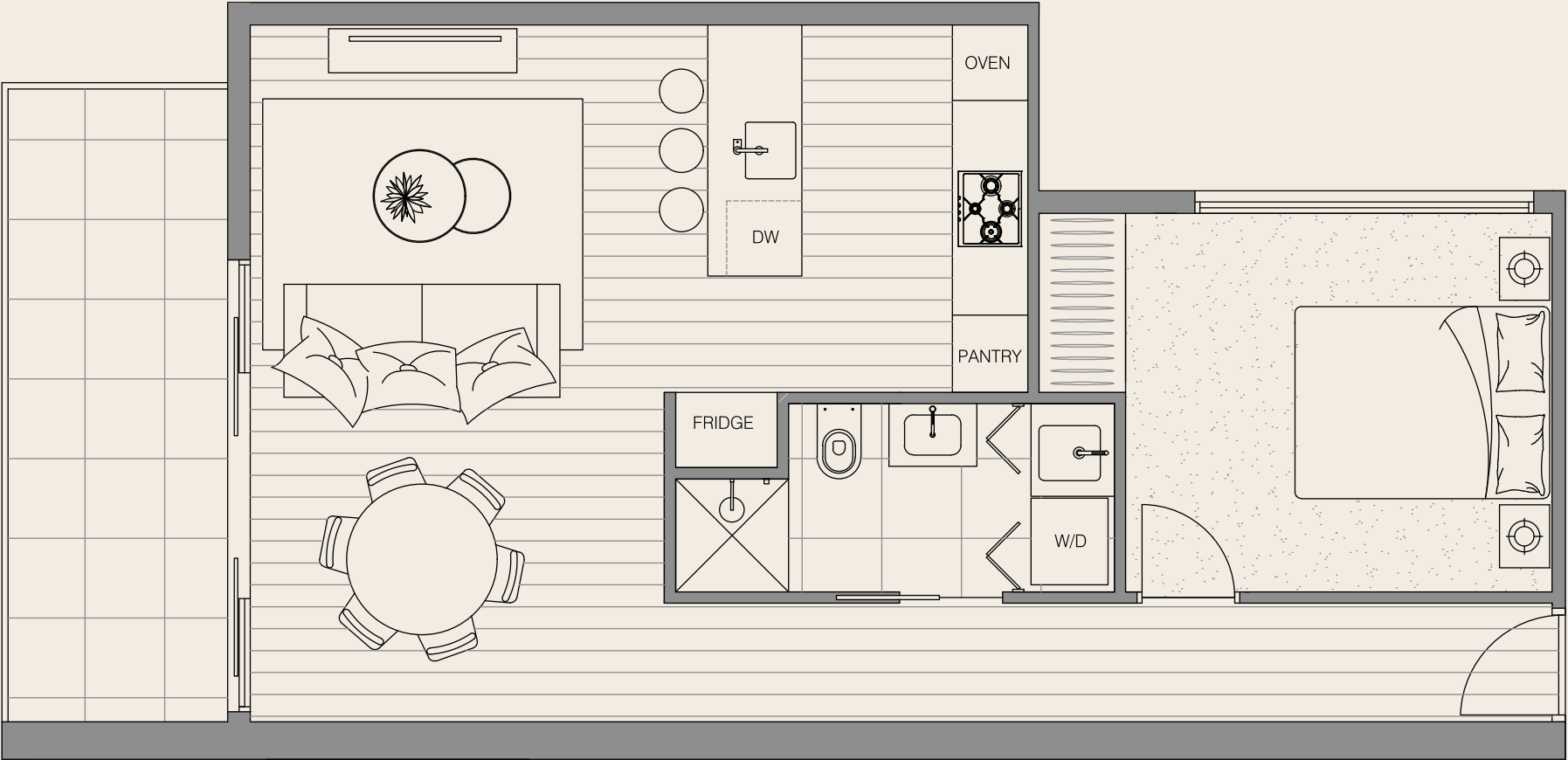
APARTMENT 03

FIRST FLOOR

Bedrooms	02	Internal SQM	76
Bathrooms	02	External SQM	11
Carspaces	01	Total SQM	87



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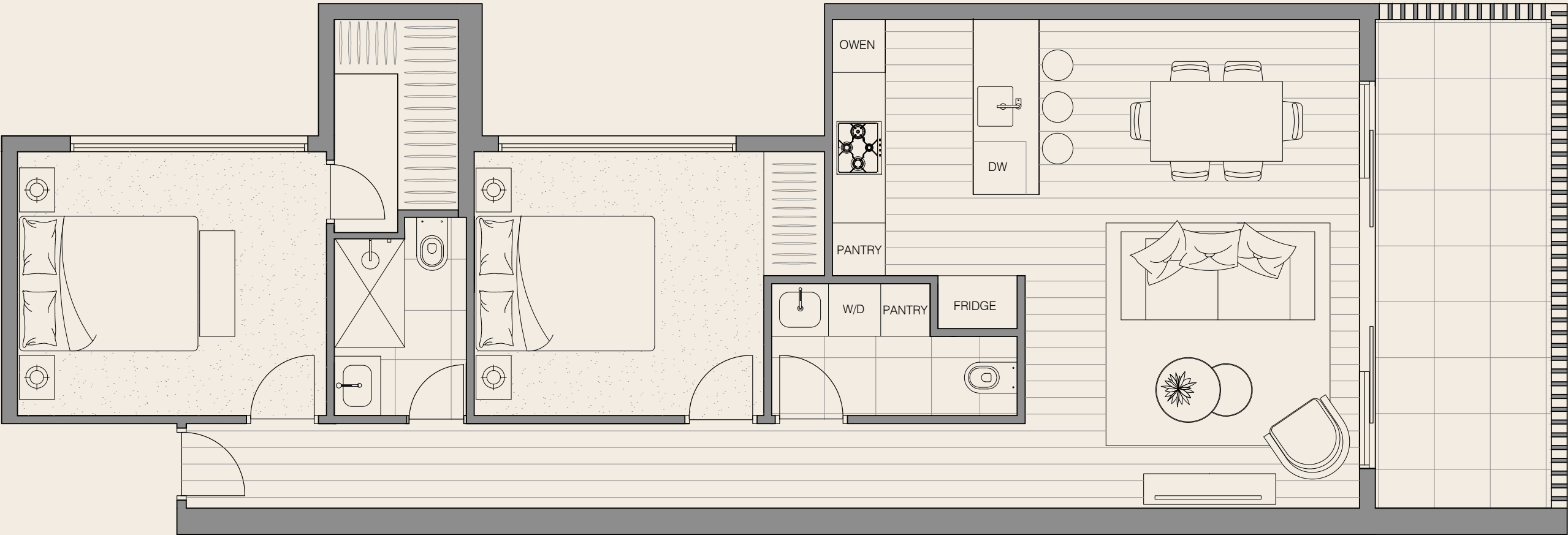
APARTMENT 04

FIRST FLOOR

Bedrooms	01	Internal SQM	58
Bathrooms	01	External SQM	9.5
Carspaces	01	Total SQM	67.5



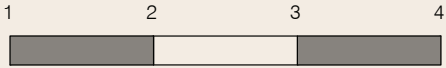
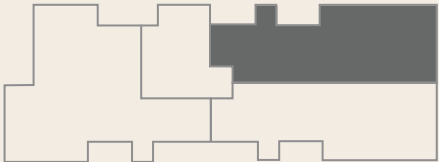
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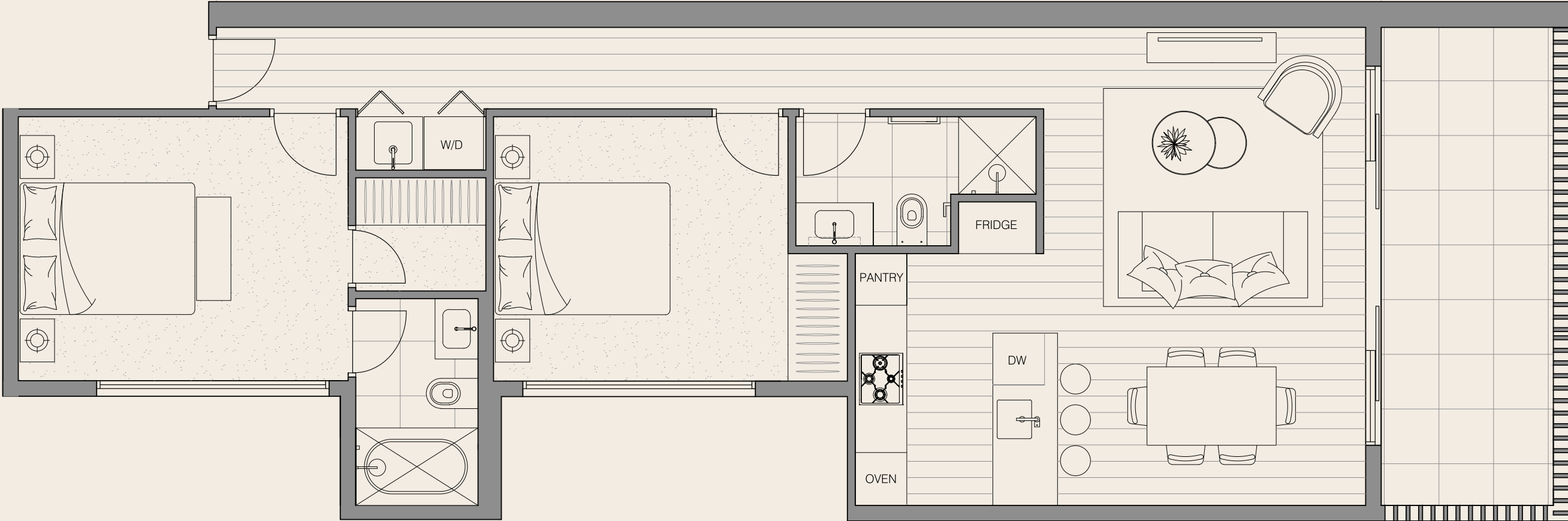
APARTMENT 05

SECOND FLOOR

Bedrooms	02	Internal SQM	79
Bathrooms	1.5	External SQM	13
Carspaces	01	Total SQM	92



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APARTMENT 06

SECOND FLOOR

Bedrooms	02	Internal SQM	81
Bathrooms	02	External SQM	13
Carspaces	01	Total SQM	94



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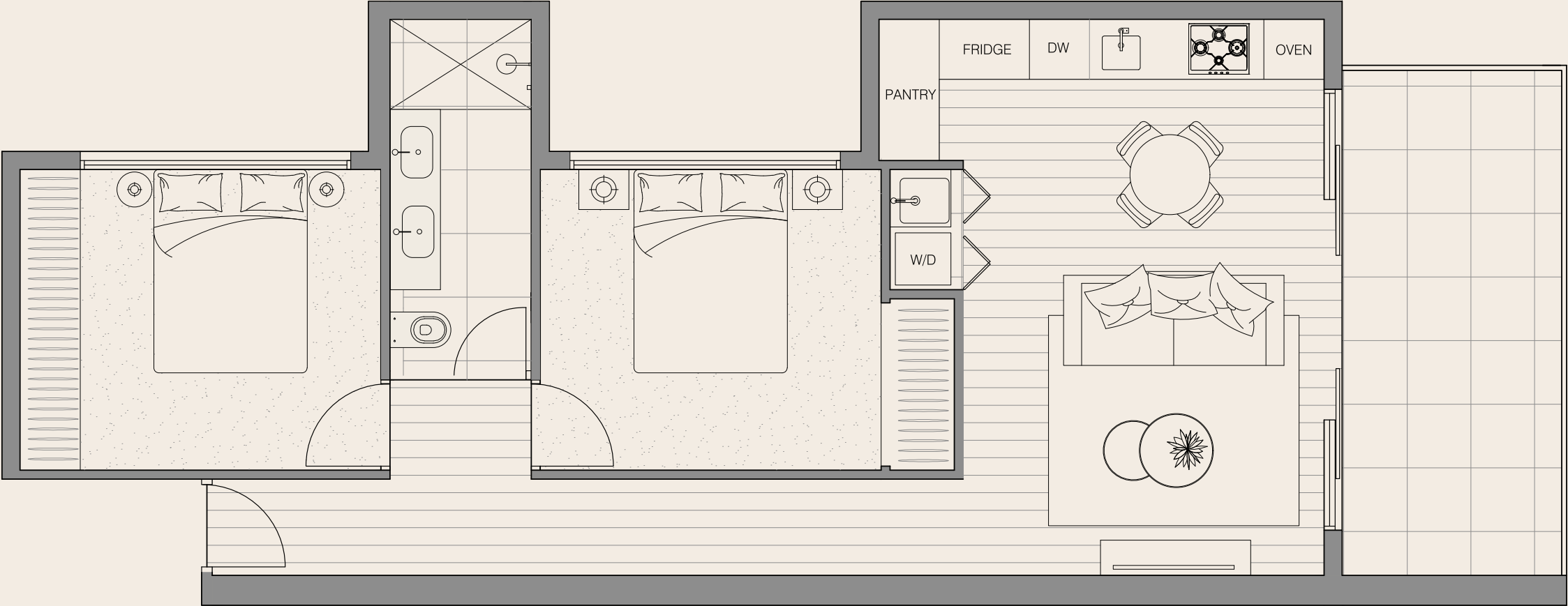
APARTMENT 07

SECOND FLOOR

Bedrooms	03	Internal SQM	107
Bathrooms	02	External SQM	12
Carspaces	02	Total SQM	119



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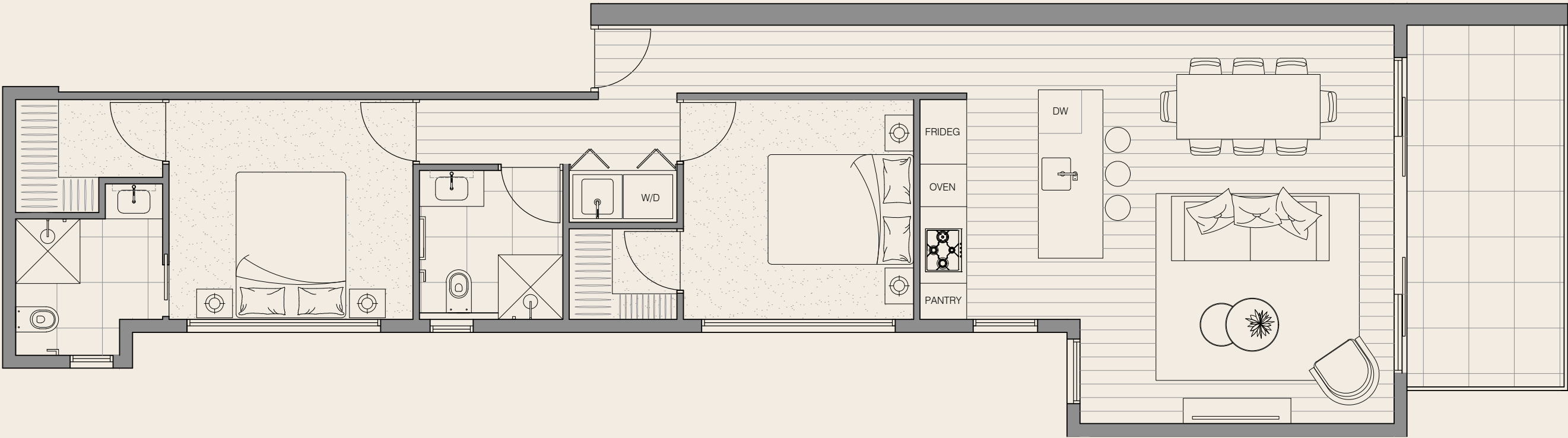
APARTMENT 08

THIRD FLOOR

Bedrooms	02	Internal SQM	66
Bathrooms	01	External SQM	12
Carspaces	01	Total SQM	78



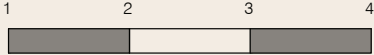
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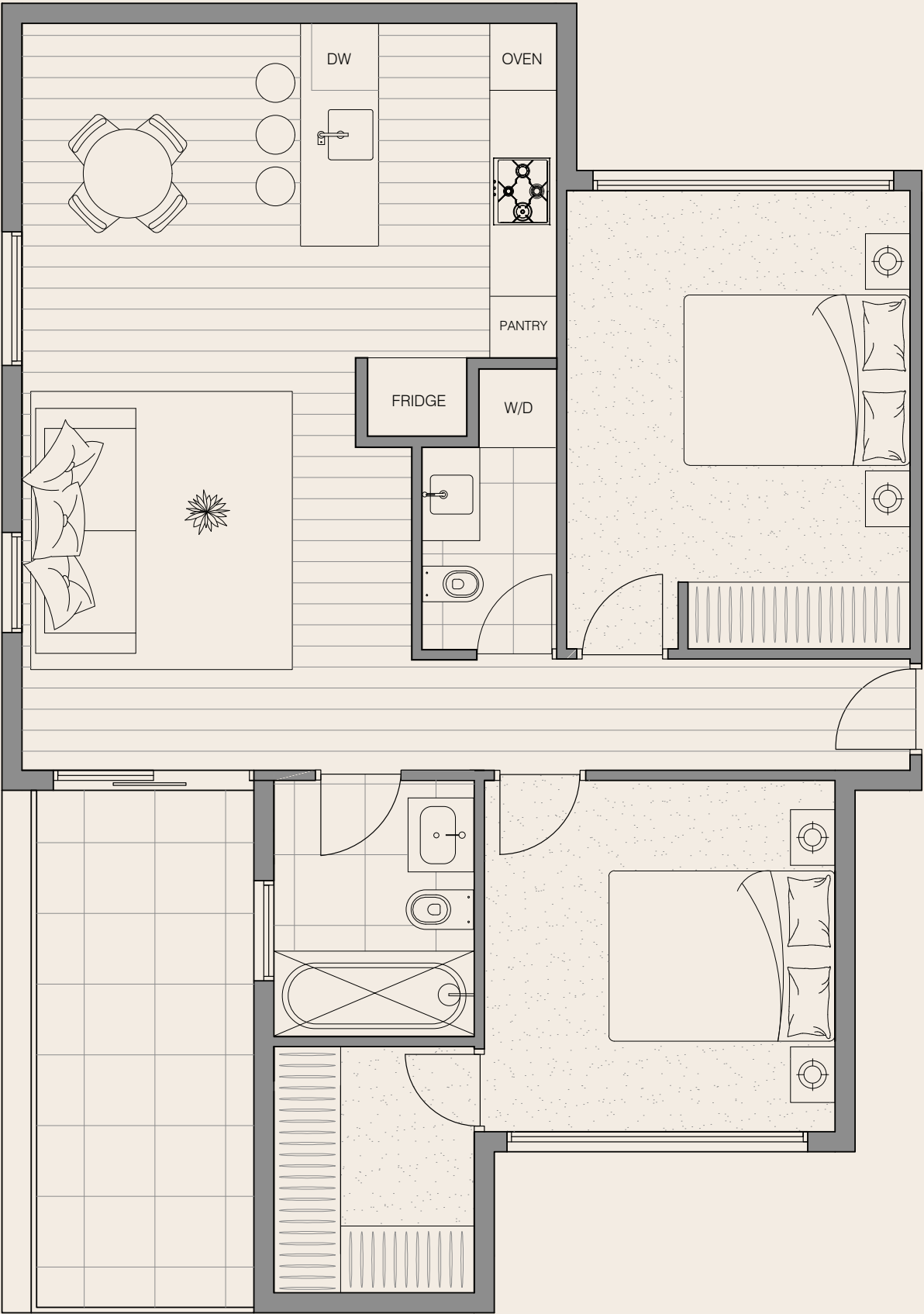
APARTMENT 09

THIRD FLOOR

Bedrooms	02	Internal SQM	85.5
Bathrooms	02	External SQM	12
Carspaces	01	Total SQM	97.5



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APARTMENT 10

THIRD FLOOR

Bedrooms	02
Bathrooms	1.5
Carspaces	01

Internal SQM	74
External SQM	9.5
Total SQM	83.5



Note: All areas shown are approximate. The information contained herein has been obtained from sources we believe to be reliable and therefore have no reason to doubt it's accuracy. The vendor and it's agent will not be responsible for any error or mis-description which may appear. Prospective purchasers or leasees are therefore advised to make whatever investigations they deem necessary.



APARTMENT 11

FOURTH FLOOR

Bedrooms	02	Internal SQM	121
Bathrooms	02	External SQM	14.5
Carspaces	02	Total SQM	135.5



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ELEVATIONS

ELEVATIONS

SECTION 05

BROADWAY



KITCHEN
Apartment 11

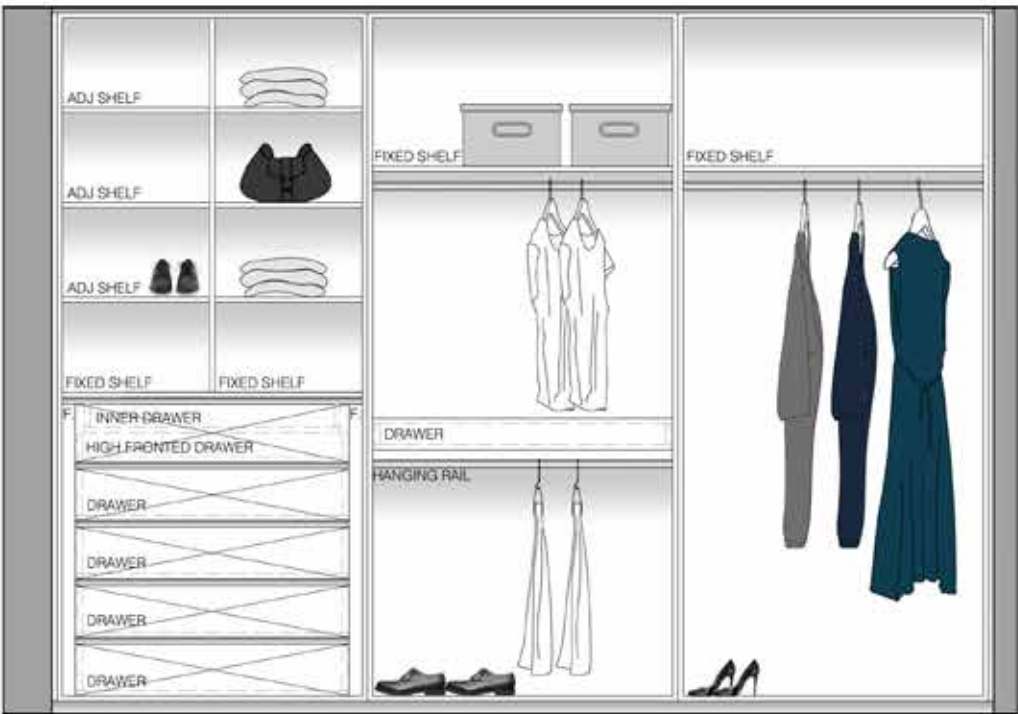


MASTER ENSUITE
Apartment 11

BROADWAY



WARDROBES



WARDROBES (internal)

FIXTURES & FINISHES

FIXTURES



Shower rail
Brushed nickel
Bathrooms - General



Twin shower
Brushed nickel
Bathrooms - Master



Wall bath outlet
Brushed nickel
Bathrooms



Wall mixer
Brushed nickel
Bathrooms



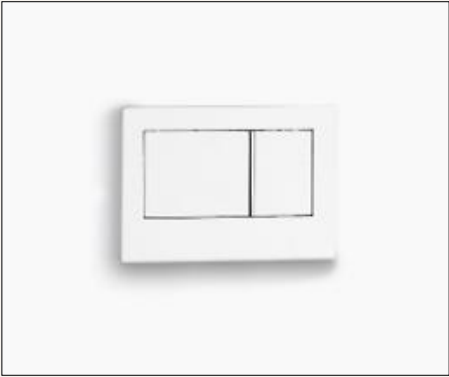
Basin mixer
Brushed nickel
Bathrooms



Basin
White
Bathrooms



Toilet suite
White
Bathrooms



Face plate
Brushed nickel
Bathrooms



Bath
White
Bathrooms



Towel rail
Brushed nickel
Bathrooms



Sink mixer
Brushed nickel
Kitchen



Sink mixer
Brushed nickel
Laundry



Sink
Stainless steel
Kitchen



Sink
Stainless steel
Laundry



Joinery pull
Brushed nickel
Wardrobes, laundry, kitchen



Door handle
Matte black
Throughout

APPLIANCES



Oven
Stainless steel
Miele



Gas cooktop
Stainless steel
Miele



Rangehood
Stainless steel
Miele



Dishwasher
Stainless steel
Miele

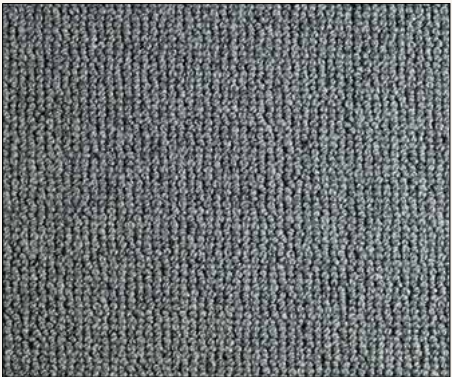


Integrated fridge
Fisher & Paykel

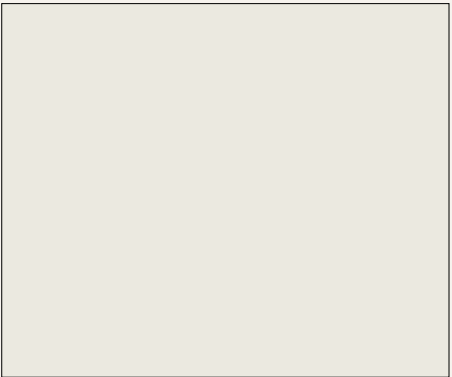
FINISHES



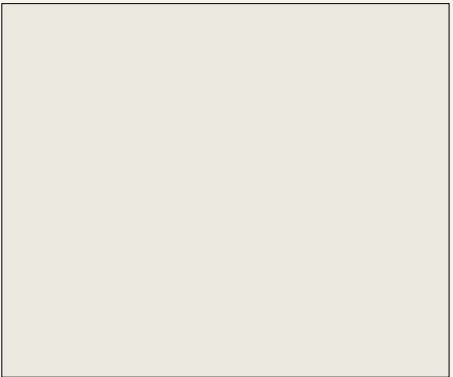
Floorboards
Entry, hallways, kitchen, meals, living



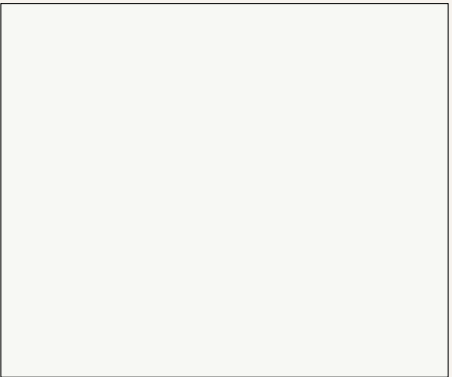
Carpet
100% wool
Bedrooms, walk-in-robos



Paint finish - walls
Throughout



Paint finish - doors and skirtings
Throughout



Paint finish - ceiling
Throughout



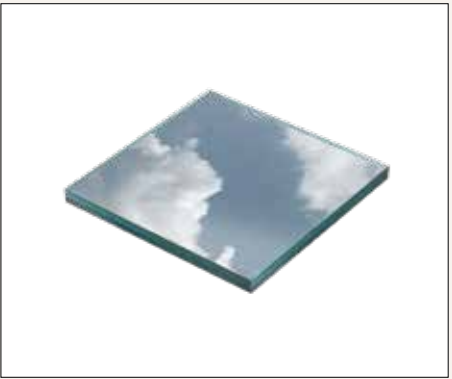
2 PAC paint finish
Kitchen joinery, wardrobe joinery



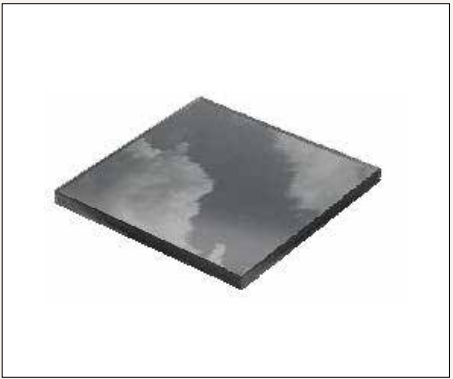
Laminate
Bathroom joinery



Laminate
Laundry joinery



Mirror finish
Bathroom mirror cabinets



Mirror finish
Grey
Kitchen splashback



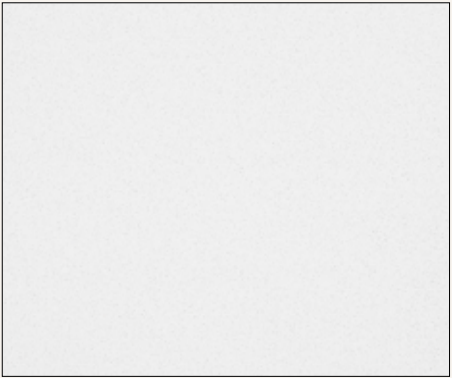
Floor tile
Light grey
Bathrooms, laundry



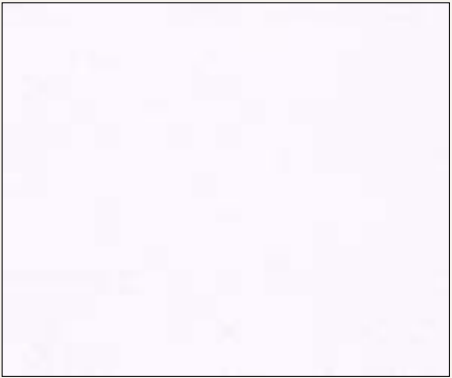
Wall tile
Bathrooms



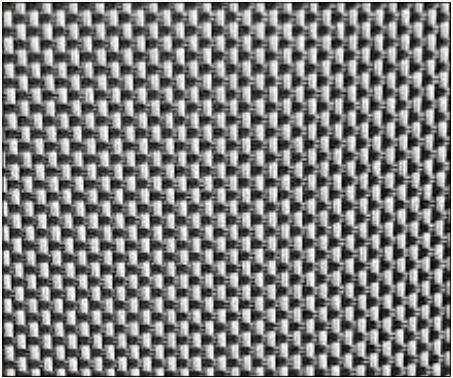
Reconstituted stone
Kitchen benchtop, island benchtop, bathroom benchtop and splashback, bathroom bath hob - top and front



Reconstituted stone
Laundry benchtop and splashback



Blockout window furnishing - roller blind fabric
Windows throughout



Transparent window furnishing - roller blind fabric
Windows throughout

broadwaycaulfield.com.au
630 – 632 Glen Huntly Road, Caulfield South

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